

GRIFFITH ENERGY STORAGE PROJECT

PRELIMINARY - NOT FOR CONSTRUCTION

GRIFFITH ENERGY STORAGE



REV	DATE	DESCRIPTION
9	8/14/24	TESLA REV4
8	6/06/24	TESLA REV3
7	5/10/24	TESLA REV2
6	4/10/24	TESLA LAYOUT
5	2/2/24	REVISED LAYOUT
4	11/8/23	REVISED LAYOUT
3	9/29/23	REVISED LAYOUT
2	8/14/23	REVISED LAYOUT
1	2/21/23	ENTITLEMENT

PROJ. NO. 222288
 DRAWN LB
 CHECKED RB
 DATE 6/06/2024

© COFFMAN ENGINEERS INC.

SHEET TITLE:
COVER SHEET

SHEET NO:
C-0.0

PROJECT DIRECTORY

APPLICANT: VESI 27 LLC
 POC: JESSICA MOWRY
 6884 SIERRA CENTER PARKWAY
 RENO, NV 89511
 484-474-5350

PROJECT ADDRESS: 18800 S. BROADWAY AVE
 CARSON, CA 90248-4627

AIN: 7339-014-009

ENGINEER: COFFMAN ENGINEERS, INC.
 626 WILSHIRE BOULEVARD, SUITE 1010
 LOS ANGELES, CA 90017
 www.coffman.com

LANDSCAPE ARCHITECT: DUDEK
 605 3RD STREET
 ENCINITAS, CA 92024

PROJECT DESCRIPTION

GENERAL: 100MW/400MWH BATTERY ENERGY STORAGE SYSTEM (BESS) FACILITY

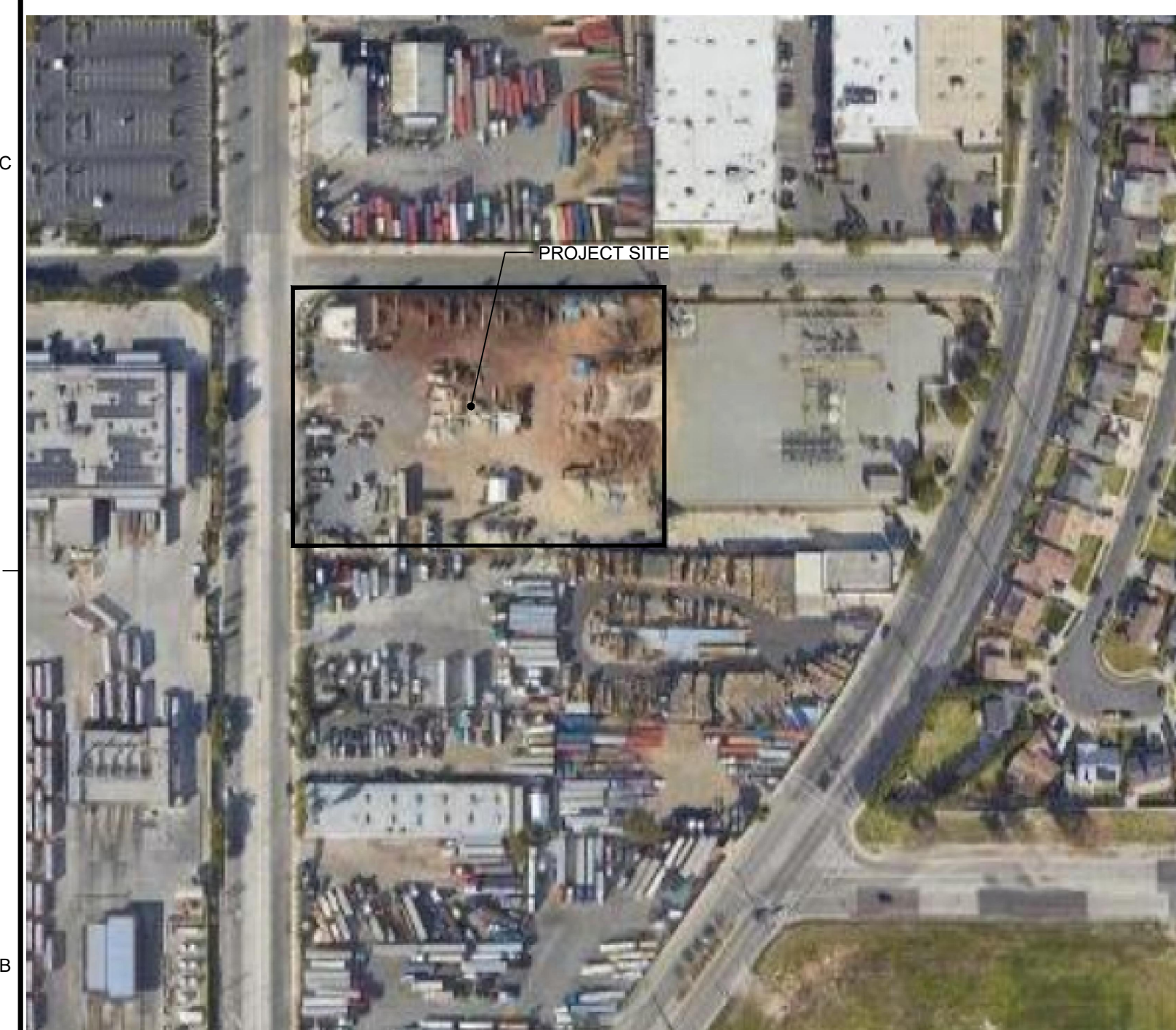
TOTAL SITE AREA: 130,487 SF (2.996 ACRES)
TOTAL FENCED AREA: 121,752 SF (2.795 ACRES)
SUBSTATION+SCE AREA: 10,747 SF
LANDSCAPE AREA: 6,191 SF
STORMWATER AREA: 10,170 SF
ACCESS ROAD AREA: 24,382 SF
BESS ENCLOSURE AREA: 78,997 SF (1.81 ACRES)

REFERENCES

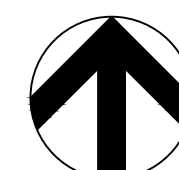
ALTA/NSPS LAND TITLE SURVEY BY BLEW & ASSOCIATES, P.A.
 3825 N. SHILOH DRIVE
 FAYETTEVILLE, AR 72703
 DATED: 10/7/2022

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VICINITY MAP
 SCALE = NTS



CITY STANDARD GENERAL NOTES:

- ALL WORK AND MATERIALS SHALL COMPLY WITH THE CITY OF CARSON, STANDARD DRAWINGS, AMERICAN PUBLIC WORKS ASSOCIATION AND CALTRANS STANDARD PLANS AND SPECIFICATIONS. (ALL LATEST EDITION)
- CONSTRUCTION PERFORMANCE BOND SHALL BE POSTED THROUGH CITY OF CARSON ENGINEERING SERVICES DIVISION PRIOR TO CONSTRUCTION PERMIT ISSUANCE. CONSTRUCTION BOND IS BASED ON ESTIMATED CONSTRUCTION COST AS REVIEWED AND APPROVED BY THE CITY ENGINEER.
- CONSTRUCTION PERMIT FROM THE CITY OF CARSON ENGINEERING SERVICES DIVISION SHALL BE OBTAINED AT LEAST SEVEN (7) DAYS PRIOR TO PRE-CONSTRUCTION MEETING. (A TOTAL OF 21-DAYS PRIOR TO START OF CONSTRUCTION)
- PRE-CONSTRUCTION MEETING SHALL BE COORDINATED AND COMPLETED THROUGH CITY OF CARSON ENGINEERING SERVICES DIVISION AT LEAST 14-DAYS PRIOR TO START OF CONSTRUCTION.
- THE CONTRACTOR SHALL NOTIFY THE ENGINEERING SERVICES FOR INSPECTION A MINIMUM OF 48-HRS PRIOR TO STARTING WORK AT (310) 952-1700 EXT. 1795
- WORKING HOURS SHALL BE 9:00 AM TO 3:00 PM FOR ARTERIAL STREETS AND 7:00 AM TO 3:00 PM FOR LOCAL/RESIDENTIAL STREETS, UNLESS OTHERWISE APPROVED.
- STAGING AREAS FOR CONSTRUCTION MATERIALS AND EQUIPMENT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR.
- PEDESTRIANS AND/OR VEHICULAR ACCESS SHALL BE ALLOWED AT ALL TIMES, UNLESS APPROVED OTHERWISE BY THE CITY ENGINEER. PROHIBITING PEDESTRIAN AND/OR VEHICULAR ACCESS REQUIRES DETOUR AND/OR ACCESS CLOSURE PLANS SUBJECT TO REVIEW AND APPROVAL OF THE CITY ENGINEER.
- OVERNIGHT TRAFFIC CONTROLS SHALL BE REVIEWED AND APPROVED BY TRAFFIC ENGINEER, PRIOR TO PRE-CONSTRUCTION MEETING. OTHERWISE TRAFFIC CONTROL SHALL BE PER CA M.U.T.C.D. LATEST EDITION.
- CONTRACTOR SHALL NOTIFY AFFECTED RESIDENTS, BUSINESSES AND AGENCIES 72-HOURS PRIOR TO START OF CONSTRUCTION, AT THE DISCRETION OF THE CITY ENGINEER.
- DAMAGED EXISTING IMPROVEMENTS, NOT PART OF THE SCOPE OF WORK, SHALL BE PROTECTED INPLACE AND SHALL BE REPLACED IN KIND AT NO COST TO THE CITY, TO THE SATISFACTION OF THE CITY ENGINEER.
- NO TRENCHES MAY BE LEFT OPEN OVERNIGHT UNLESS APPROVED BY THE CITY ENGINEER.
- IF ANY UTILITIES OR FACILITIES CONFLICT WITH PROPOSED IMPROVEMENTS, ALL WORK SHALL STOP AND THE CITY ENGINEER SHALL BE NOTIFIED IMMEDIATELY.
- CONTRACTOR SHALL COORDINATE AND/OR OBTAIN NECESSARY PERMITS FROM AFFECTED AGENCIES.
- CONTRACTOR SHALL NOTIFY UNDERGROUND SERVICE ALERT (U.S.A.) 48-HRS PRIOR TO START UPON EXPOSING ANY UTILITY'S UNDERGROUND FACILITY THE CONTRACTOR SHALL NOTIFY THAT OWNER OF THAT UTILITY IMMEDIATELY.
- IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO LOCATE ALL SUBSTRUCTURES WITHIN THE ALIGNMENT OF THE PROPOSED IMPROVEMENTS, AND IN THE EVENT OF SUBSTRUCTURE DAMAGE, THE CONTRACTOR SHALL BEAR ALL THE COST OF REPAIR OR REPLACEMENT.
- CONTRACTOR SHALL HAVE SUFFICIENT MATERIALS ON HAND AT ALL TIMES TO EXPEDITE ANY EMERGENCY REPAIR.
- AS REQUIRED BY THE CITY ENGINEER, THE CONTRACTOR SHALL FURNISH AND OPERATE A SELFLOADING MOTOR SWEEPER WITH SPRAY NOZZLES AT LEAST TWICE EACH WORKING DAY TO KEEP PAVED AREAS ACCEPTABLY CLEAN WHEREVER CONSTRUCTION IS INCOMPLETE.
- THE CONTRACTOR SHALL PROVIDE AND MAINTAIN AT ALL TIMES DURING CONSTRUCTION AMPLE MEANS AND DEVICES WITH WHICH TO PROMPTLY REMOVE AND PROPERLY DISPOSE OF ALL WATER FROM ANY SOURCE ENTERING THE EXCAVATION OR OTHER PARTS OF THE WORK.
- CONTRACTOR SHALL COMPLY WITH ALL STORMWATER POLLUTION CONTROL PER BY REGIONAL WATER QUALITY CONTROL BOARD (RWQCB) REQUIREMENTS, INCLUDING BUT NOT LIMITED TO BEST MANAGEMENT PRACTICE (BMPs)
- CONTRACTOR SHALL APPLY FOR AND OBTAIN A TREE REMOVAL PERMIT WHEN DEMOLISHING AN EXISTING TREE WITHIN THE PUBLIC RIGHT-OF-WAY. REFER TO "EXHIBIT B" OF ARTICLE III, CHAPTER 9 OF THE OF CARSON MUNICIPAL CODE AND CONTACT GREGORY MACDONALD, TREE AND CONCRETE MAINTENANCE SUPERVISOR, AT (310) 847-3500.
- CONTRACTOR SHALL PROVIDE TREE PROTECTION FOR TREES WITHIN THE PUBLIC RIGHT-OF-WAY PER ARTICLE III, CHAPTER 9, SECTION 3928 OF THE CITY OF CARSON MUNICIPAL CODE.

TITLE COMMITMENT INFORMATION

THE PROPERTY HEREON DESCRIBED IS THE SAME AS THE PERTINENT PROPERTY AS DESCRIBED IN FIDELITY NATIONAL TITLE COMPANY, TITLE COMMITMENT #997-30090434-ML6, WITH AN EFFECTIVE DATE OF AUGUST 10, 2022 AT 7:30 AM.

SCHEDULE A DESCRIPTION

THE LAND REFERRED TO HEREIN BELOW IS SITUATED IN THE CITY OF CARSON, COUNTY OF LOS ANGELES, STATE OF CALIFORNIA, AND IS DESCRIBED AS FOLLOWS:

THE WESTERLY 750.97 FEET OF LOT 119 OF TRACT 4671, IN THE CITY OF CARSON, COUNTY OF LOS ANGELES, STATE OF CALIFORNIA, AS PER MAP RECORDED IN BOOK 56, PAGES 30 AND 31 OF MAPS, IN THE OFFICE OF THE COUNTY RECORDER OF SAID COUNTY.

EXCEPT THEREFROM THE WESTERLY 222.97 FEET THEREOF.

ALSO EXCEPT THEREFROM THE EASTERLY 100 FEET OF THE WESTERLY 322.97 FEET AS PER FINAL JUDGMENT, CASE NO. 274,177 RECORDED IN BOOK 12339, PAGE 97 OF OFFICIAL RECORDS IN SAID COUNTY.

APN 7339-014-009

NOTES CORRESPONDING TO SCHEDULE B

- 2 - EASEMENT(S) FOR THE PURPOSE(S) SHOWN BELOW AND RIGHTS INCIDENTAL THERETO AS CONDEMNED BY AN INSTRUMENT...
3 - EASEMENT(S) FOR THE PURPOSE(S) SHOWN BELOW AND RIGHTS INCIDENTAL THERETO, AS GRANTED IN A DOCUMENT...
4 - EASEMENT(S) FOR THE PURPOSE(S) SHOWN BELOW AND RIGHTS INCIDENTAL THERETO AS SET FORTH IN A DOCUMENT...
5 - EASEMENT(S) FOR THE PURPOSE(S) SHOWN BELOW AND RIGHTS INCIDENTAL THERETO AS SET FORTH IN A DOCUMENT...
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7 - EASEMENT(S) FOR THE PURPOSE(S) SHOWN BELOW AND RIGHTS INCIDENTAL THERETO AS SET FORTH IN A DOCUMENT...
8 - EASEMENT(S) FOR THE PURPOSE(S) SHOWN BELOW AND RIGHTS INCIDENTAL THERETO AS SET FORTH IN A DOCUMENT...

UTILITY INFORMATION

THE UTILITIES SHOWN ON THIS DRAWING HEREON HAVE BEEN LOCATED BY FIELD MEASUREMENTS, UTILITY MAP DRAWINGS, BLEW & ASSOCIATES MAKES NO WARRANTY TO THE EXACT LOCATION OF ANY UNDERGROUND UTILITIES SHOWN OR NOT SHOWN ON THIS DRAWING...

Table with columns: COMPANY, CONTACT, and utility types (e.g., 4" ELECTRICAL - SCE, 12" OIL - TOSCO, 6" STL - SCG).

ZONING INFORMATION

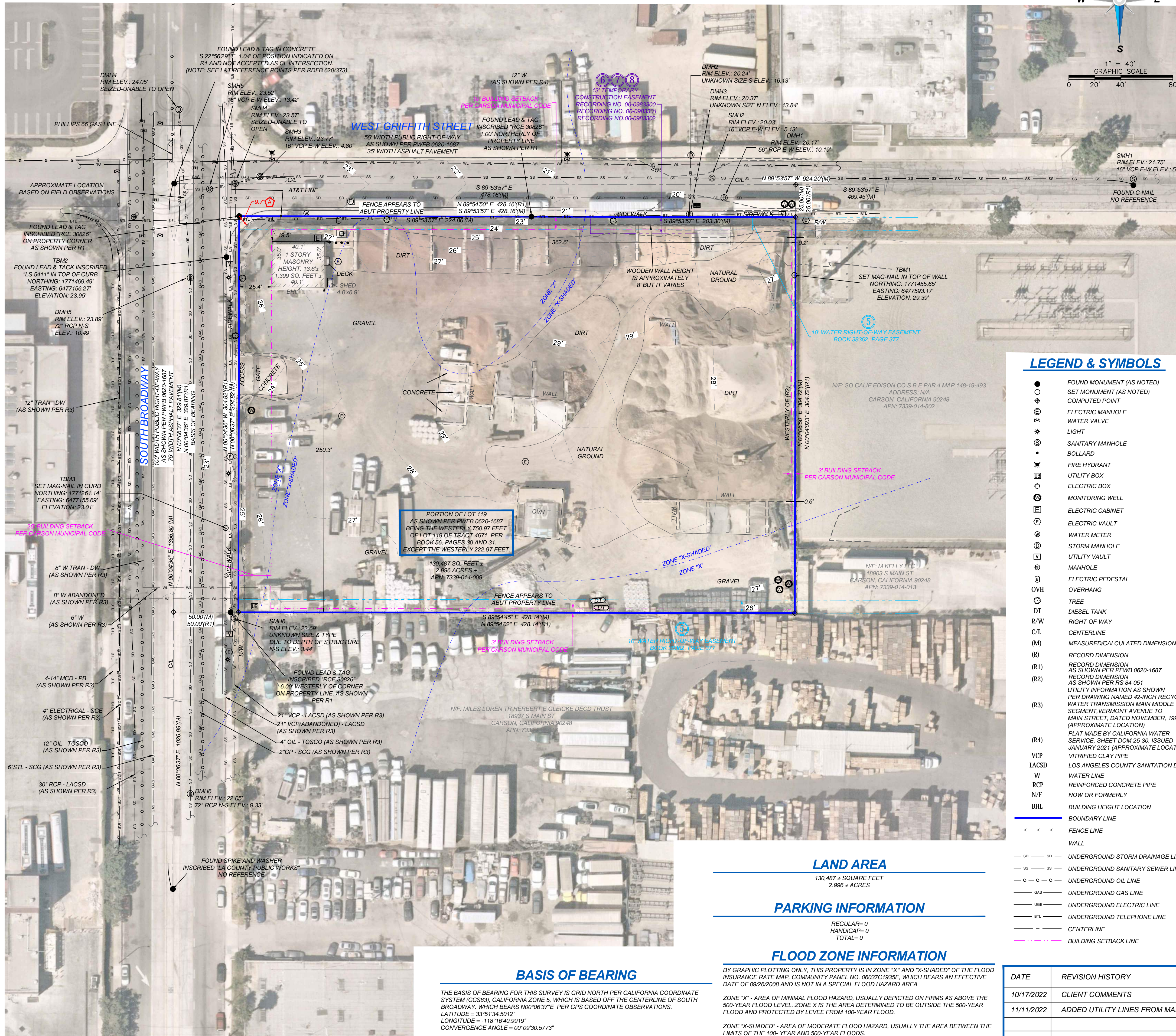
Table with columns: ITEM, REQUIRED, OBSERVED, and NOTES. Includes rows for MIN. LOT AREA, MIN. STREET FRONTAGE, MAX. BLDG COVERAGE, etc.

SIGNIFICANT OBSERVATIONS

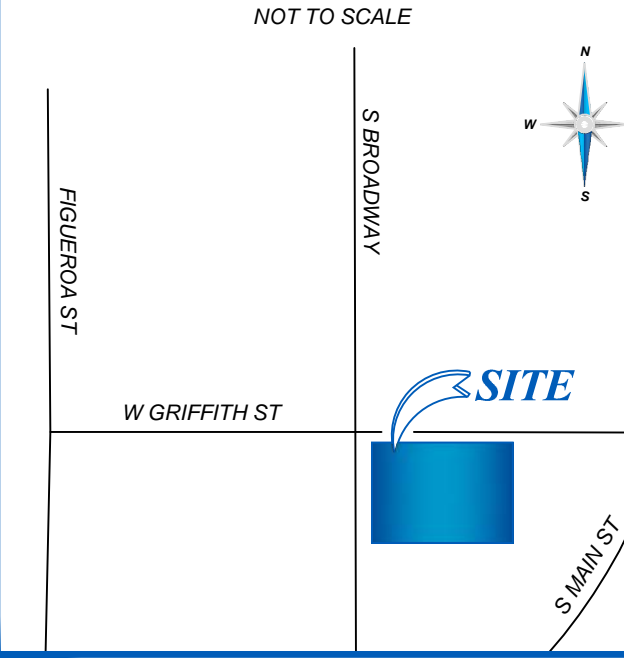
WALL APPEARS TO CROSS PROPERTY LINE BY AS MUCH AS 9.7'

ALTA/NSPS LAND TITLE SURVEY

18800 BROADWAY
CARSON, CALIFORNIA 90248
LOS ANGELES COUNTY



VICINITY MAP



GENERAL NOTES

- 1. SOME FEATURES SHOWN ON THIS PLAT MAY BE SHOWN OUT OF SCALE FOR CLARITY.
2. DIMENSIONS ON THIS PLAT ARE EXPRESSED IN FEET AND DECIMAL PARTS THEREOF UNLESS OTHERWISE NOTED.
3. AT THE TIME OF THE ALTA SURVEY, THERE WAS NO OBSERVABLE EVIDENCE OF RECENT EARTH WORK, BUILDING CONSTRUCTION, OR BUILDING ADDITIONS WITHIN RECENT MONTHS.
4. AT THE TIME OF THE ALTA SURVEY, THERE WAS NO KNOWLEDGE OF PROPOSED CHANGES IN STREET RIGHT-OF-WAY LINES AND NO SUCH INFORMATION WAS MADE AVAILABLE FROM THE CONTROLS OF JURISDICTION...

LEGEND & SYMBOLS

- FOUND MONUMENT (AS NOTED)
SET MONUMENT (AS NOTED)
COMPUTED POINT
ELECTRIC MANHOLE
WATER VALVE
LIGHT
SANITARY MANHOLE
BOLLARD
FIRE HYDRANT
UTILITY BOX
ELECTRIC BOX
MONITORING WELL
ELECTRIC CABINET
ELECTRIC VAULT
WATER METER
STORM MANHOLE
UTILITY VAULT
MANHOLE
ELECTRIC PEDESTAL
OVERHANG
TREE
DIESEL TANK
RIGHT-OF-WAY
CENTERLINE
MEASURED/CALCULATED DIMENSION
RECORD DIMENSION
RECORD DIMENSION AS SHOWN PER RWB 0620-1687
RECORD DIMENSION AS SHOWN PER RS 04-051
UTILITY INFORMATION AS SHOWN PER DRAWING NAMED 42-INCH RECYCLED WATER TRANSMISSION MAIN MIDDLE SEGMENT, VERNON AVENUE TO MAIN STREET, DATED NOVEMBER, 1998 (APPROXIMATE LOCATION)
PLAT MADE BY CALIFORNIA WATER SERVICE, SHEET DOM-25-90, ISSUED JANUARY 2021 (APPROXIMATE LOCATION)
VCP - VITRIFIED CLAY PIPE
LACSD - LOS ANGELES COUNTY SANITATION DISTRICT
W - WATER LINE
RCP - REINFORCED CONCRETE PIPE
N/F - NOW OR FORMERLY
BHL - BUILDING HEIGHT LOCATION
BOUNDARY LINE
FENCE LINE
WALL
UNDERGROUND STORM DRAINAGE LINE
UNDERGROUND SANITARY SEWER LINE
UNDERGROUND OIL LINE
UNDERGROUND GAS LINE
UNDERGROUND ELECTRIC LINE
UNDERGROUND TELEPHONE LINE
CENTERLINE
BUILDING SETBACK LINE

SURVEYOR'S CERTIFICATE

TO: FIDELITY NATIONAL TITLE COMPANY, VESI 27 LLC, GUNTHER MERLI, AND SETEFAN MERLI.
THIS IS TO CERTIFY THAT THIS MAP OR PLAT AND THE SURVEY ON WHICH IT IS BASED WERE MADE IN ACCORDANCE WITH THE 2021 MINIMUM STANDARD DETAIL REQUIREMENTS FOR ALTA/NSPS LAND TITLE SURVEYS...

DATE OF PLAT OR MAP: 10/07/2022
JASON M. PAGE
LICENSED LAND SURVEYOR NO. 9687
STATE OF CALIFORNIA

LAND AREA

130,487 ± SQUARE FEET
2.996 ± ACRES

PARKING INFORMATION

REGULAR=0
HANDICAP=0
TOTAL=0

FLOOD ZONE INFORMATION

BY GRAPHIC PLOTTING ONLY, THIS PROPERTY IS IN ZONE 'X' AND 'X-SHADED' OF THE FLOOD INSURANCE RATE MAP, COMMUNITY PANEL NO. 06037C1935F, WHICH BEARS AN EFFECTIVE DATE OF 09/26/2008 AND IS NOT IN A SPECIAL FLOOD HAZARD AREA.
ZONE 'X' - AREA OF MINIMAL FLOOD HAZARD, USUALLY DEPICTED ON FIRMS AS ABOVE THE 500-YEAR FLOOD LEVEL. ZONE X IS THE AREA DETERMINED TO BE OUTSIDE THE 500-YEAR FLOOD AND PROTECTED BY LEVEE FROM 100-YEAR FLOOD.
ZONE 'X-SHADED' - AREA OF MODERATE FLOOD HAZARD, USUALLY THE AREA BETWEEN THE LIMITS OF THE 100-YEAR AND 500-YEAR FLOODS.

BASIS OF BEARING

THE BASIS OF BEARING FOR THIS SURVEY IS GRID NORTH PER CALIFORNIA COORDINATE SYSTEM (CCS83), CALIFORNIA ZONE 5, WHICH IS BASED OFF THE CENTERLINE OF SOUTH BROADWAY, WHICH BEARS N00°06'37"E PER GPS COORDINATE OBSERVATIONS.
LATITUDE = 33°51'34.5012"
LONGITUDE = 118°16'40.9919"
CONVERGENCE ANGLE = 00°09'30.5773"

PRELIMINARY

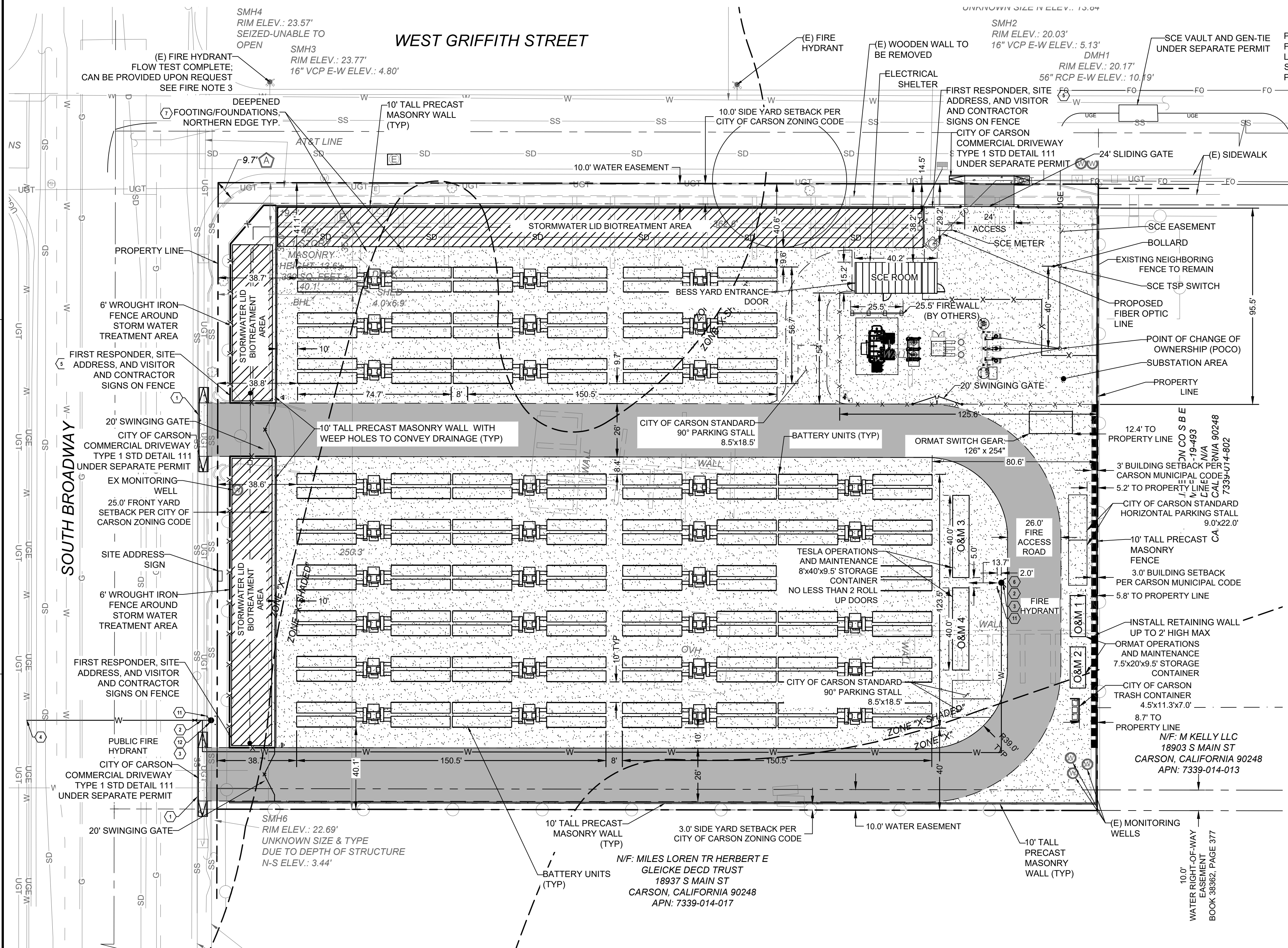
BLEW & ASSOCIATES, P.A. logo and contact information including address (3825 N. SHILOH DRIVE - FAYETTEVILLE, AR 72703) and phone/fax numbers.

PRELIMINARY - NOT FOR CONSTRUCTION

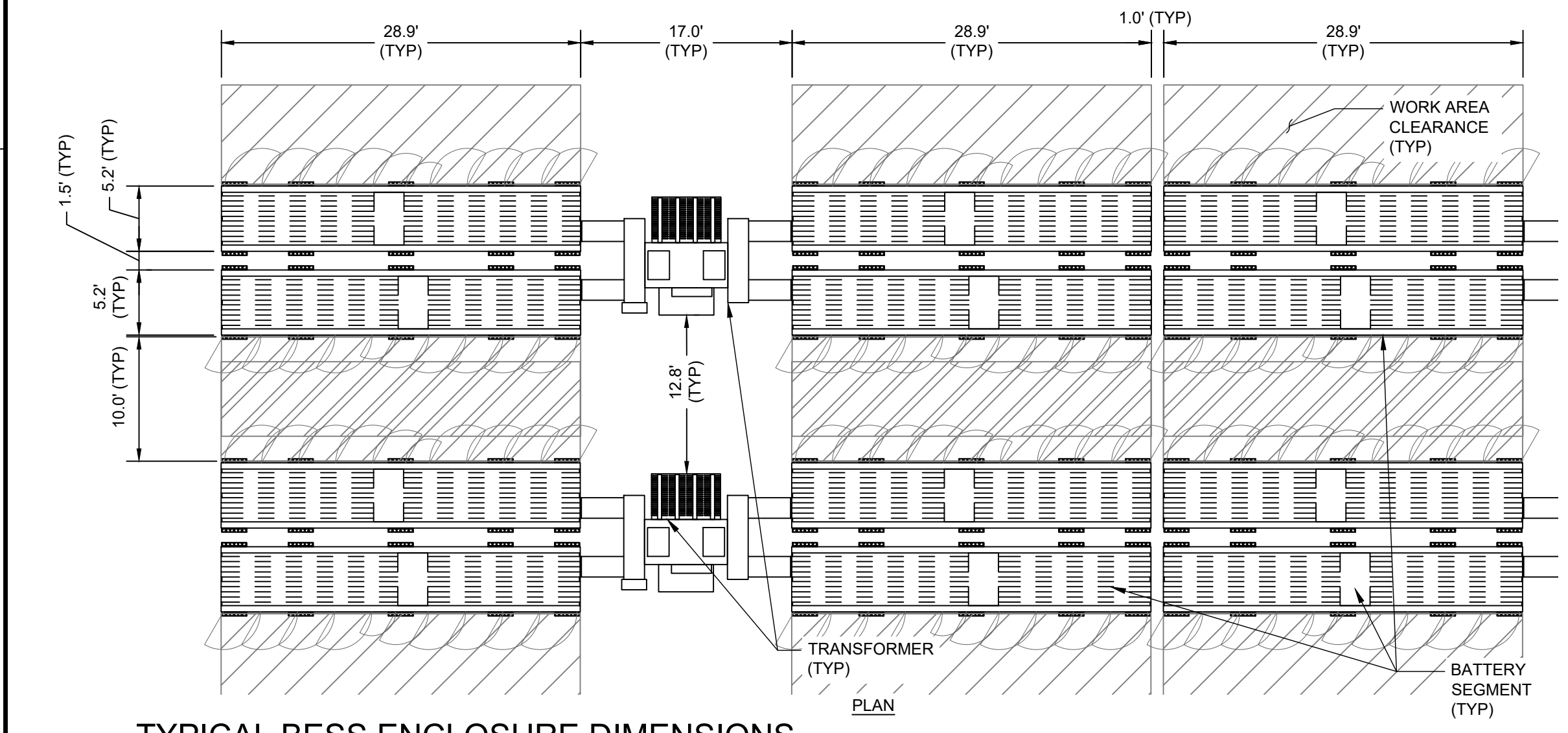
GRIFFITH ENERGY STORAGE



VICINITY MAP



I:\COFFMAN\PROJECTS\222288 GRIFFITH BATTERY ENERGY STORAGE\0 DIVS\222288 CIVIL SITE PLAN\10 SPACING DWG.CIVIL SITE PLAN - HOLMES, RYAN - LAST SAVED: August 28, 2024 - PLOT DATE: 8/28/24



TYPICAL BESS ENCLOSURE DIMENSIONS

*EQUIPMENT DIMENSIONS SPECIFIED ARE BASED ON COMMUNICATION WITH DUDEK AND ORMAT TECHNOLOGIES, INC. SPECIFICATIONS RECEIVED BY COFFMAN ENGINEERS ON APRIL 5TH, 2024.

LEGEND

- ASPHALT
- IMPERVIOUS CAP
- LANDSCAPE
- 10' PRECAST MASONRY WALL
- 6' WROUGHT IRON FRENCE
- RETAINING WALL
- FIRE LANE SIGN

CIVIL SITE NOTES

- 1 DRIVEWAY CURB CUT.
- 2 FIRE WATER PIPE, SIZE TBD.
- 3 FIRE HYDRANT. SEE FIRE NOTES. INSTALL HYDRANT 7' MAXIMUM FROM FACE OF CURB PER LOS ANGELES COUNTY DETAIL W-9. COORDINATE WITH COUNTY OF LOS ANGELES FOR UTILITY EASEMENT AS NEEDED
- 4 TIE INTO (E) MAIN.
- 5 2' X 3' SITE IDENTIFICATION SIGNAGE ON EACH ACCESS GATE.
- 6 NO PARKING - FIRE LANE SIGNAGE, SEE FIRE NOTES
- 7 FOR ALL FUTURE BESS UNITS. INSTALL DEEPEENED FOOTING FOUNDATIONS ADJACENT TO STORMWATER TREATMENT BASINS

NOTE:
EXCEPT WHERE OTHERWISE INDICATED, THE ENTIRE SITE IS PROPOSED TO BE CAPPED WITH IMPERVIOUS SURFACE.

LANDSCAPE NOTES:
CONTRACTOR SHALL INSTALL LANDSCAPE, GROUNDCOVER, MULCH, GRAVEL, ETC. PER AHJ AND EROSION PROTECTION REQUIREMENTS

REQUIRED FIRE ACCESS WIDTH	26'
CENTERLINE FIRE ACCESS RADIUS	32' (MINIMUM)
SUBSTATION DIMENSIONS	96' x 126'
TOTAL SITE AREA	3.00 ACRES
FRONT YARD SETBACK	25'
SIDE YARD SETBACK	3'
STREET SIDE YARD SETBACK	10'
REAR YARD SETBACK	3'
CITY OF CARSON ZONING DESIGNATION	INDUSTRIAL

CIVIL SITE INFORMATION

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© COFFMAN ENGINEERS INC.

SHEET TITLE:
CIVIL SITE PLAN

SHEET NO:

C-1.0

THE EXISTING INFORMATION SHOWN ON THESE PLANS IS PER THE SURVEY COMPLETED BY: BLEW & ASSOCIATES, P.A. 3825 N. SHILOH DRIVE FAYETTEVILLE, AR 72703 479.443.4506 DATED: 11/11/2022. THE CONTRACTOR SHALL VERIFY EXISTING SITE CONDITIONS AND CONTACT THE ENGINEER IF DISCREPANCIES ARE NOTED.

UTILITY STATEMENT
 LOCATION OF EXISTING UNDERGROUND UTILITIES HAVE BEEN TAKEN FROM DRAWINGS AND FIELD LOCATES SUPPLIED BY THE APPROPRIATE UTILITY COMPANIES. UTILITY LOCATIONS SHOWN ON THIS DRAWING ARE APPROXIMATE ONLY. PRIOR TO BEGINNING ANY CONSTRUCTION, THE CONTRACTOR SHALL VERIFY THE EXACT LOCATION OF EACH UTILITY.



PRELIMINARY - NOT FOR CONSTRUCTION

GRIFFITH ENERGY STORAGE



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CITY OF CARSON ZONING DESIGNATION	INDUSTRIAL

CIVIL SITE INFORMATION

FIRE NOTES:

- THE PROPOSED BATTERY ENERGY STORAGE SYSTEM DEVELOPMENT SHALL BE IN COMPLIANCE WITH CHAPTER 12 AND ALL OTHER APPLICABLE SECTIONS WITHIN THE COUNTY OF LOS ANGELES FIRE CODE
- ALL HYDRANTS SHALL MEASURE 6" 4" X 2-1/2" BRASS OR BRONZE, CONFORMING TO CURRENT AWWA STANDARD C503 OR APPROVED EQUAL.
- VEHICULAR ACCESS MUST BE PROVIDED AND MAINTAINED SERVICEABLE THROUGHOUT CONSTRUCTION TO ALL REQUIRED FIRE HYDRANTS. ALL REQUIRED FIRE HYDRANTS SHALL BE INSTALLED, TESTED, AND ACCEPTED PRIOR TO CONSTRUCTION.
- FIRE HYDRANT SPACING SHALL COMPLY WITH THE SPACING REQUIREMENTS SET FORTH IN THE COUNTY OF LOS ANGELES FIRE CODE APPENDIX C, SECTION C 105.
- FIRE HYDRANT SHALL COMPLY WITH SECTION C105.3 BUILDINGS OTHER THAN ONE- AND TWO-FAMILY DWELLINGS, AND GROUP R-3 BUILDINGS. FOR ALL OCCUPANCIES OTHER THAN ONE- AND TWO-FAMILY DWELLINGS, AND GROUP R-3 BUILDINGS, INCLUDING COMMERCIAL, INDUSTRIAL, MULTIFAMILY DWELLINGS, PRIVATE SCHOOLS, AND INSTITUTIONS, FIRE HYDRANT SPACING SHALL BE 300 FEET. NO PORTION OF THE LOT FRONTAGE SHALL BE MORE THAN 200 FEET, VIA FIRE APPARATUS ACCESS FROM A PUBLIC HYDRANT. NO PORTION OF A BUILDING SHALL BE MORE THAN 400 FEET VIA FIRE APPARATUS ACCESS, FROM A PROPERLY SPACED PUBLIC HYDRANT.
- PROPOSED AND EXISTING PRIVATE REQUIRED FIRE FLOW 1,250 GPM @ 20 PSI FOR 2 HOURS. PUBLIC FIRE HYDRANT(S) FLOWING SIMULTANEOUSLY MAY BE USED TO ACHIEVE THE REQUIRED FIRE FLOW PER FIRE CODE 507.3 & APPENDIX B105.1, B105.2
- NO PARKING - FIRE LANE SIGNAGE SHALL BE IN COMPLIANCE WITH CHAPTER 12 AND ALL OTHER APPLICABLE SECTIONS WITHIN THE COUNTY OF LOS ANGELES FIRE CODE AND COUNTY OF LOS ANGELES FIRE CODE APPENDIX C, SECTION C 503.3 AND FIRE CODE SECTION 501.4. APPLICATION FOR FIRE FLOW TESTING HAS BEEN SUBMITTED TO LA COUNTY FIRE DEPARTMENT
- ALL PROPOSED GATES SHALL BE EQUIPPED WITH FIRE DEPARTMENT APPROVED LOCKING DEVICE(S) PER FIRE CODE 503.5 & 503.6.
- WATER SYSTEMS IMPROVEMENT PLANS SHALL BE SUBMITTED FROM THE LOCAL WATER PURVEYOR THROUGH EPICALA COUNTY GOV TO THE COUNTY OF LOS ANGELES FIRE DEPARTMENT FIRE PREVENTION DIVISION LAND DEVELOPMENT UNIT FOR REVIEW AND APPROVAL PRIOR TO BUILDING PERMIT ISSUANCE
- SUBMITTAL TO THE COUNTY OF LOS ANGELES FIRE DEPARTMENT FIRE PREVENTION ENGINEERING SECTION BUILDING PLAN CHECK UNIT IS REQUIRED. YOU MAY REACH THEM AT (323) 890-4125 FOR SPECIFIC SUBMITTAL INFORMATION
- GUARD POST SHALL BE INSTALLED AROUND THE ON-SITE PRIVATE FIRE HYDRANT IN COMPLIANCE WITH CFC SECTION 312 AND STRIPPING TO PREVENT VEHICLE PARKING ADJACENT TO THE PUBLIC FIRE HYDRANT SHALL BE IN COMPLIANCE WITH CVC SECTION 22514.
- PROPOSED PUBLIC FIRE HYDRANT REQUIRED FIRE FLOW 1,500 GPM @ 20 PSI FOR 2 HOURS. PUBLIC FIRE HYDRANT(S) FLOWING SIMULTANEOUSLY MAY BE USED TO ACHIEVE THE REQUIRED FIRE FLOW PER FIRE CODE 507.3 & APPENDIX B105.1, B105.2



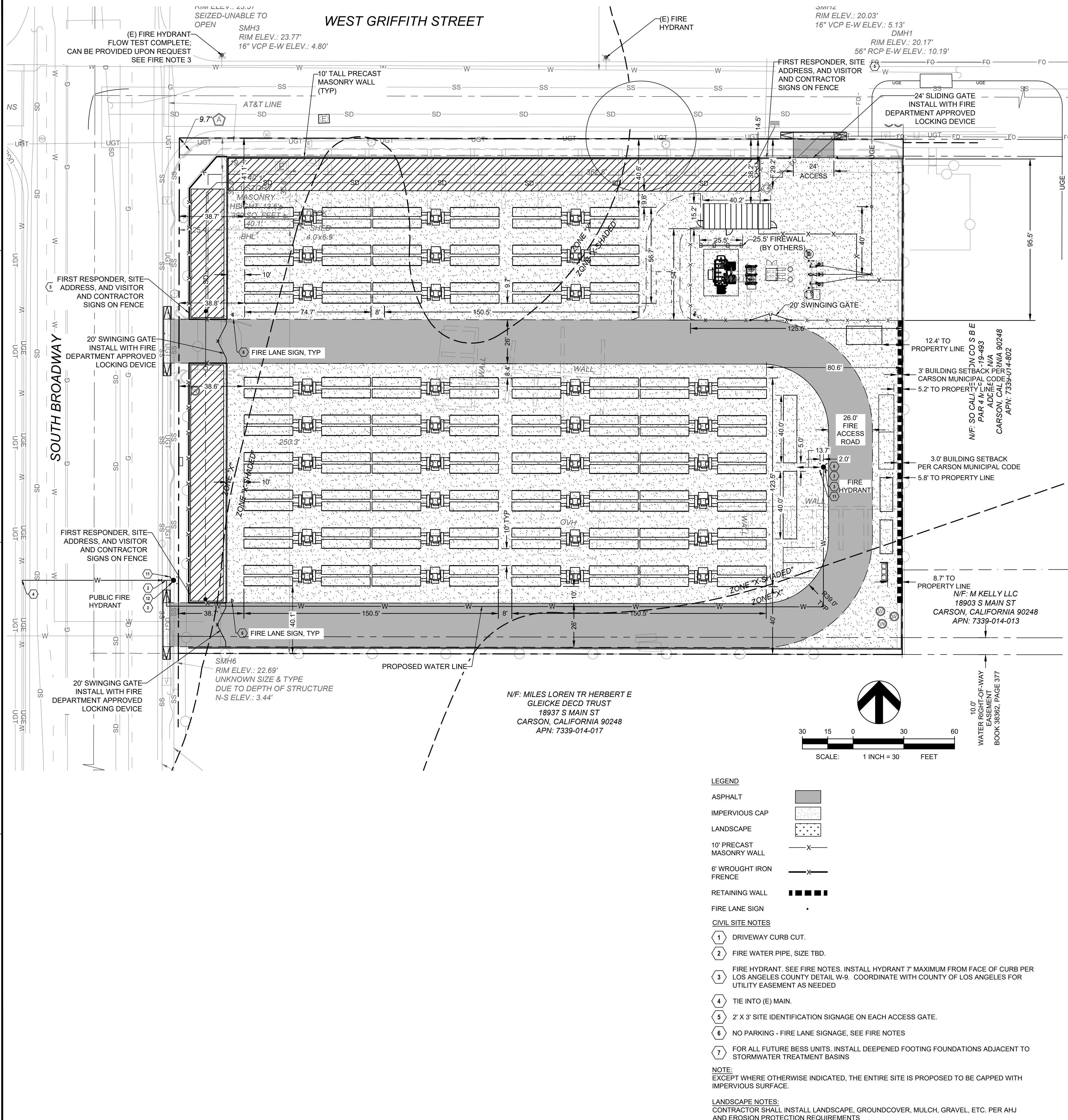
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FIRE PLAN

SHEET NO:
C-1.1

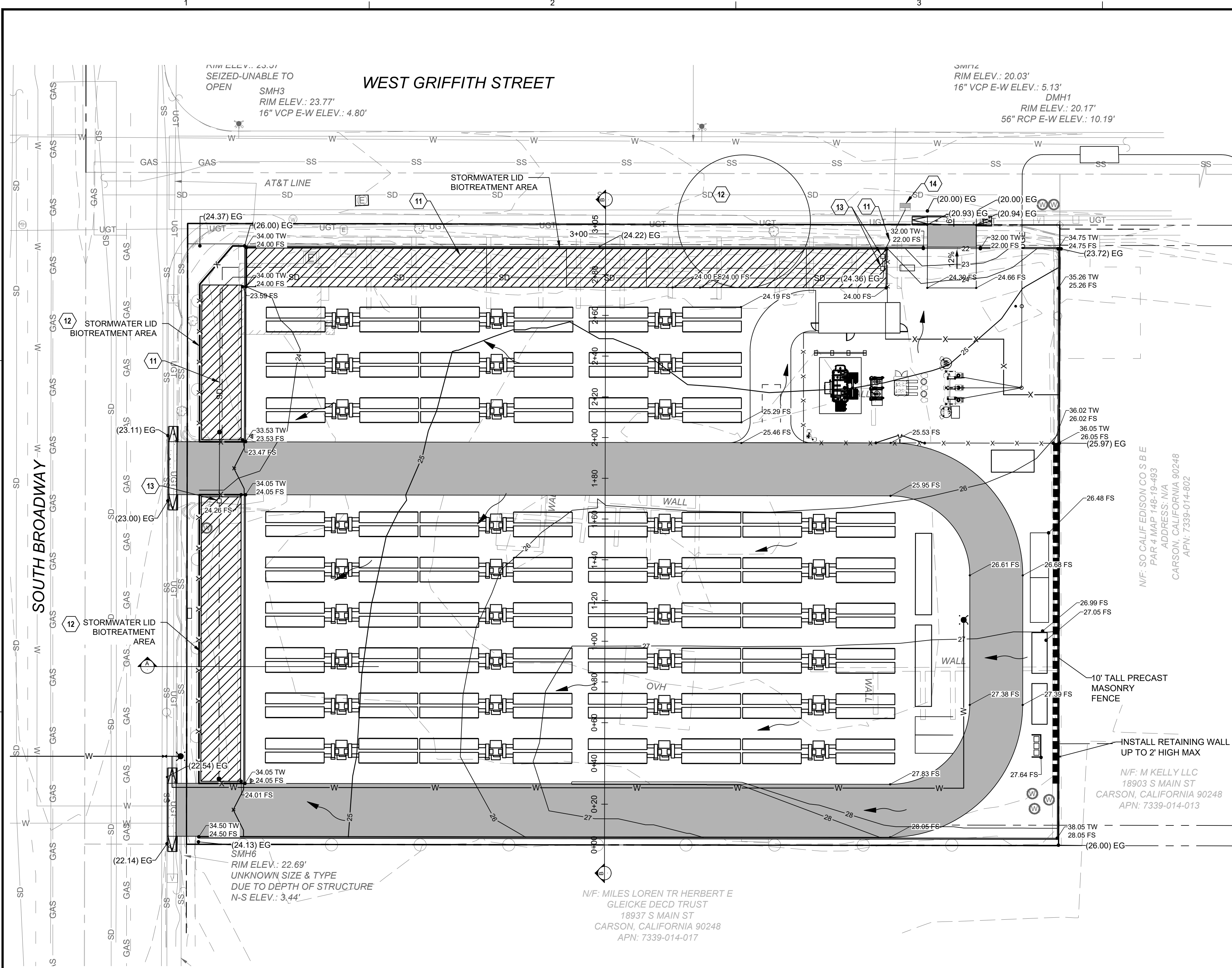


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VICINITY MAP

REQUIRED FIRE ACCESS WIDTH	26'
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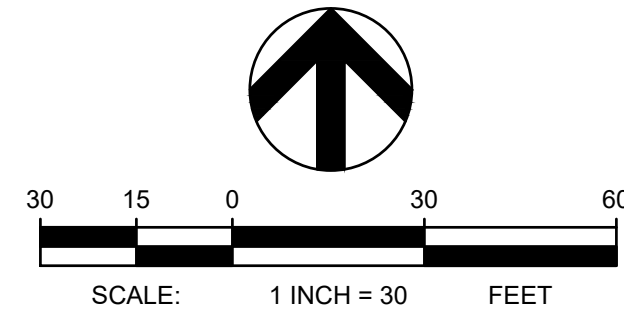
CIVIL SITE INFORMATION

DRAINAGE NOTES

- 11 STORM DRAIN PIPE, SIZE TBD.
- 12 STORMWATER BIOFILTRATION LID TREATMENT AREA. SEE DETAIL ON SHEET C3.0.
- 13 STORM DRAIN INLET.
- 14 TIE INTO (E) STORM DRAIN MANHOLE.

LEGEND

- ASPHALT
- IMPERVIOUS CAP
- LANDSCAPE
- 10' PRECAST MASONRY WALL
- 6" WROUGHT IRON FRENCE
- RETAINING WALL
- FIRE LANE SIGN



NOTE:
EXCEPT WHERE OTHERWISE INDICATED, THE ENTIRE SITE IS PROPOSED TO BE CAPPED WITH IMPERVIOUS SURFACE.

LANDSCAPE NOTES:
CONTRACTOR SHALL INSTALL LANDSCAPE, GROUNDCOVER, MULCH, GRAVEL, ETC. PER AHJ AND EROSION PROTECTION REQUIREMENTS

THE EXISTING INFORMATION SHOWN ON THESE PLANS IS PER THE SURVEY COMPLETED BY:
BLEW & ASSOCIATES, P.A.
3825 N. SHILOH DRIVE
FAYETTEVILLE, AR 72703
479.443.4506
DATED: 11/11/2022
THE CONTRACTOR SHALL VERIFY EXISTING SITE CONDITIONS AND CONTACT THE ENGINEER IF DISCREPANCIES ARE NOTED.

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Know what's below.
Call before you dig.

PRELIMINARY - NOT FOR CONSTRUCTION

GRIFFITH ENERGY STORAGE



ORMAT

REV	DATE	DESCRIPTION
9	8/14/24	TESLA REV4
8	6/06/24	TESLA REV3
7	5/10/24	TESLA REV2
6	4/10/24	TESLA LAYOUT
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4	11/8/23	REVISED LAYOUT
3	9/29/23	REVISED LAYOUT
2	8/14/23	REVISED LAYOUT
1	2/21/23	ENTITLEMENT

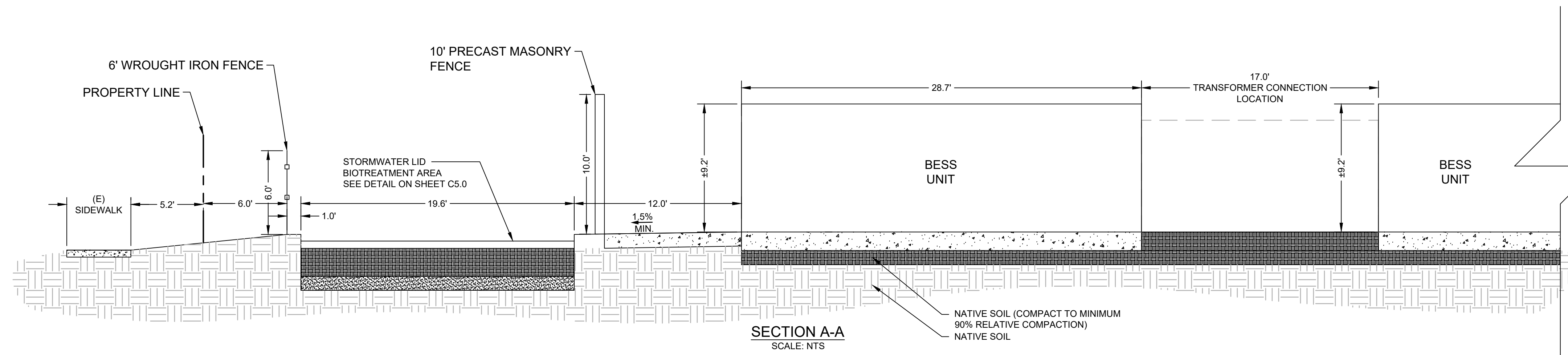
PROJ. NO. 222288
DRAWN LB
CHECKED RB
DATE 6/06/2024

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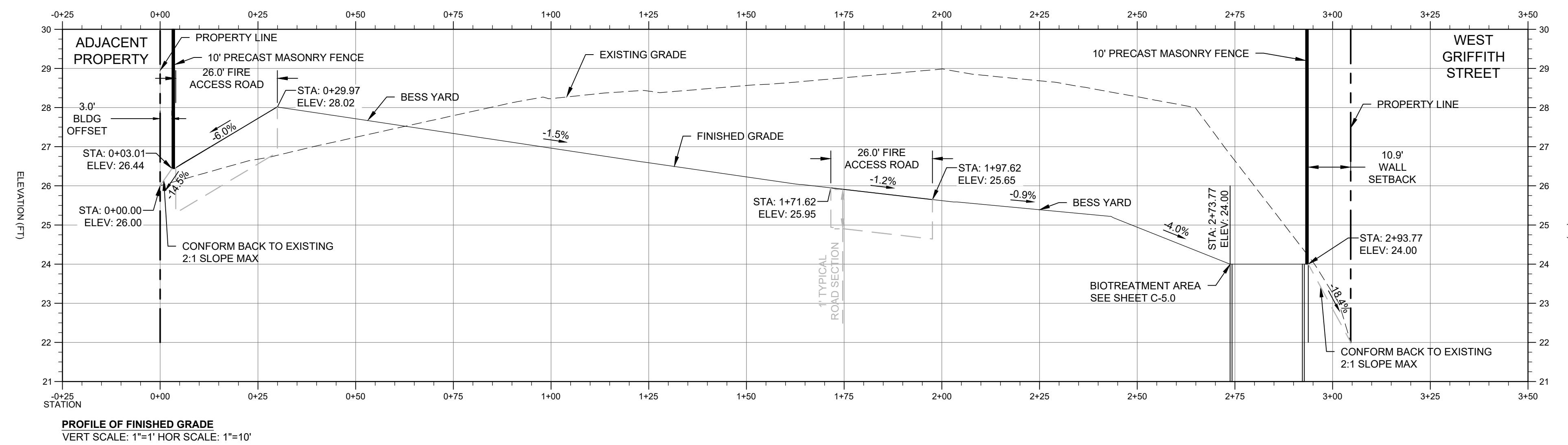
GRADING PLAN

SHEET NO:
C-2.0

I:\COFFMAN\PROJECTS\DRG\222288 GRIFFITH BATTERY ENERGY STORAGE\DWG\222288 GRADING & DRAINAGE PLAN\DWG\222288 GRADING & DRAINAGE PLAN.DWG AUGUST 27, 2024 - PLOT DATE: 8/28/24



A SECTION A - FINISHED GRADE FENCE AND BESS UNIT COMPARISON
 NTS



B SECTION B - EXISTING GRADE AND FINISHED GRADE COMPARISON
 NTS

PRELIMINARY - NOT FOR CONSTRUCTION

GRIFFITH ENERGY STORAGE



REV	DATE	DESCRIPTION
9	8/14/24	TESLA REV4
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2	8/14/23	REVISED LAYOUT
1	2/21/23	ENTITLEMENT

PROJ. NO. 222288
 DRAWN RH
 CHECKED RB
 DATE 6/06/2024

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SHEET TITLE:
SECTION VIEW

SHEET NO:

C-2.1

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I:\COFFMAN\PROJECTS\INDUSTRIAL\GRIFFITH BATTERY ENERGY STORAGE\222288 GRIFFITH BATTERY ENERGY STORAGE\222288 GRADING & DRAINAGE PLANS\DWG SECTIONS - HOLMES, RYAN - LAST SAVED August 27, 2024 - PLOT DATE: 8/28/24

PRELIMINARY - NOT FOR CONSTRUCTION

GRIFFITH ENERGY STORAGE



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2	8/14/23	REVISED LAYOUT
1	2/21/23	ENTITLEMENT

PROJ. NO.	222288
DRAWN	XXX
CHECKED	XXX
DATE	6/06/2024

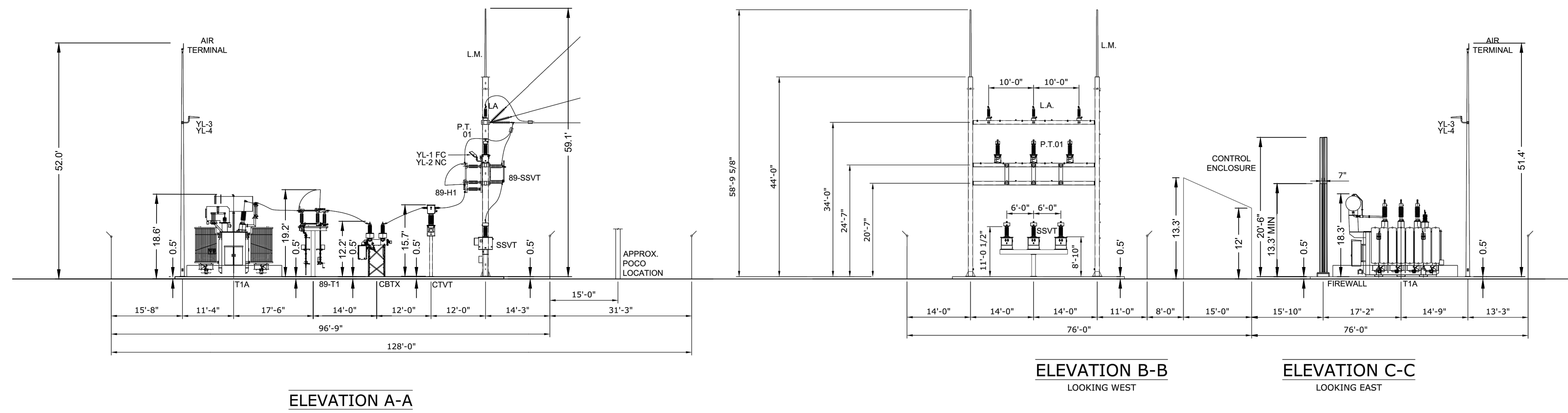
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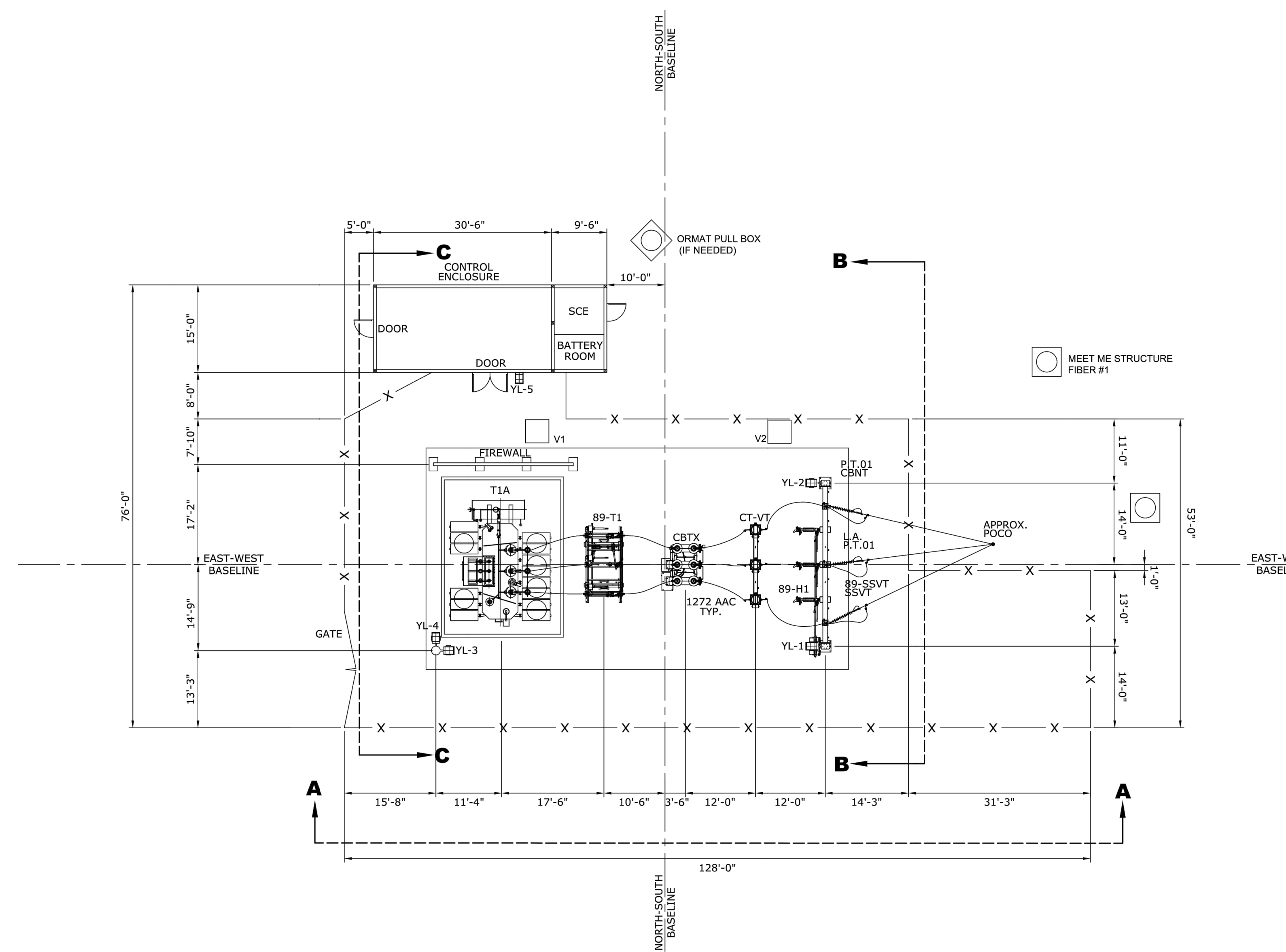
ENLARGED SCE SUBSTATION (BY OTHERS)

SHEET NO:

C-3.0



B SCE SUBSTATION ELEVATIONS A-A, B-B, C-C (BY OTHERS)
 NTS



A SCE SUBSTATION LAYOUT (BY OTHERS)
 NTS

I:\COFFMAN\COM\PROJECTS\ANC\22\JOBS\222288 GRIFITH BATTERY ENERGY STORAGE\00 DWG\SC\222288 ENLARGED SCE SUBSTATION (BY OTHERS).HOLMES, RYAN - LAST SAVED August 14, 2024 - PLOT DATE: 8/28/24

I:\COFFMAN\COM\PROJECTS\ANC\22\JOBS\222288 GRIFITH BATTERY ENERGY STORAGE\00 DWG\SC\222288 ENLARGED SCE SUBSTATION (BY OTHERS).HOLMES, RYAN - LAST SAVED August 14, 2024 - PLOT DATE: 8/28/24

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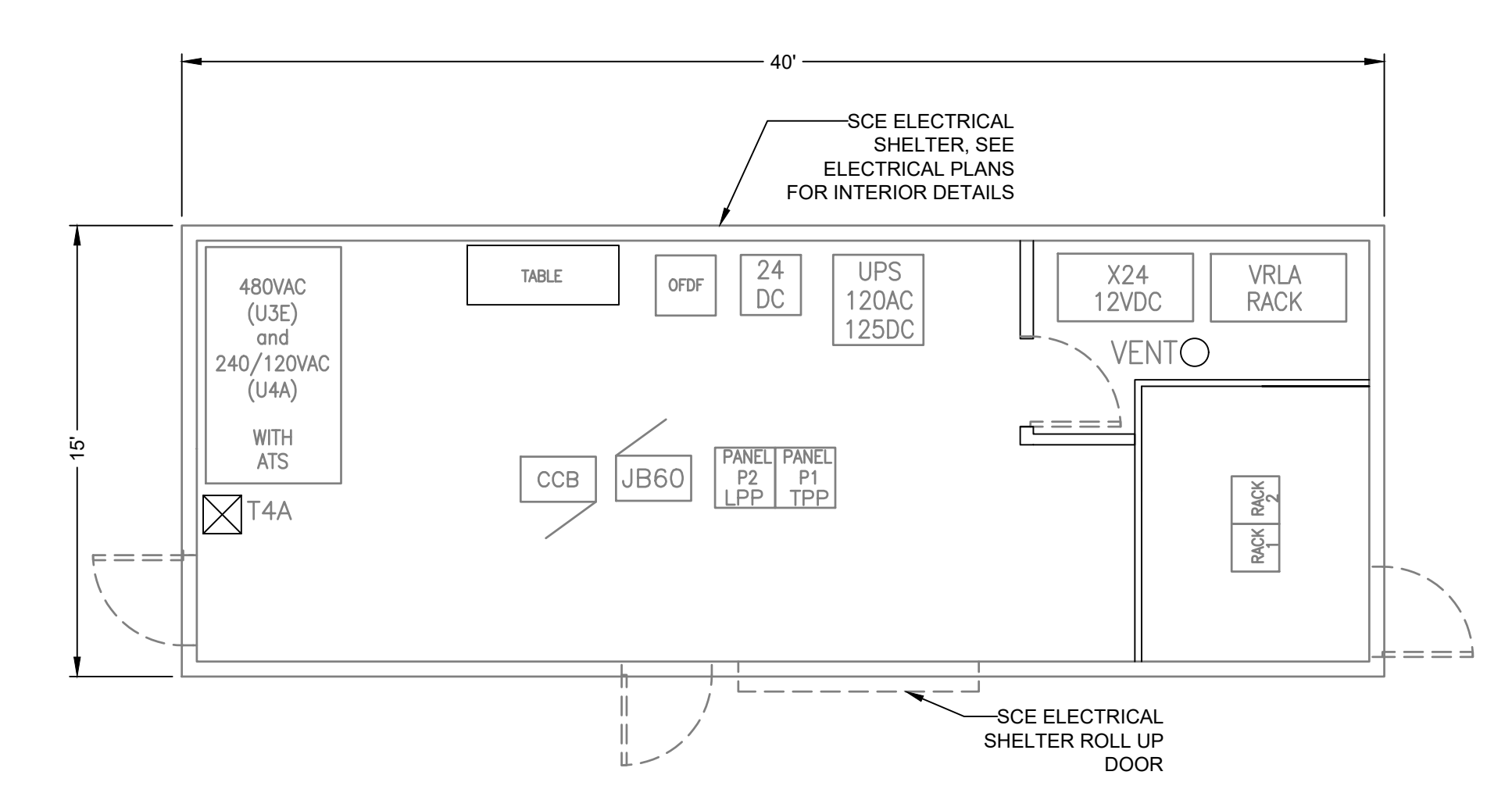
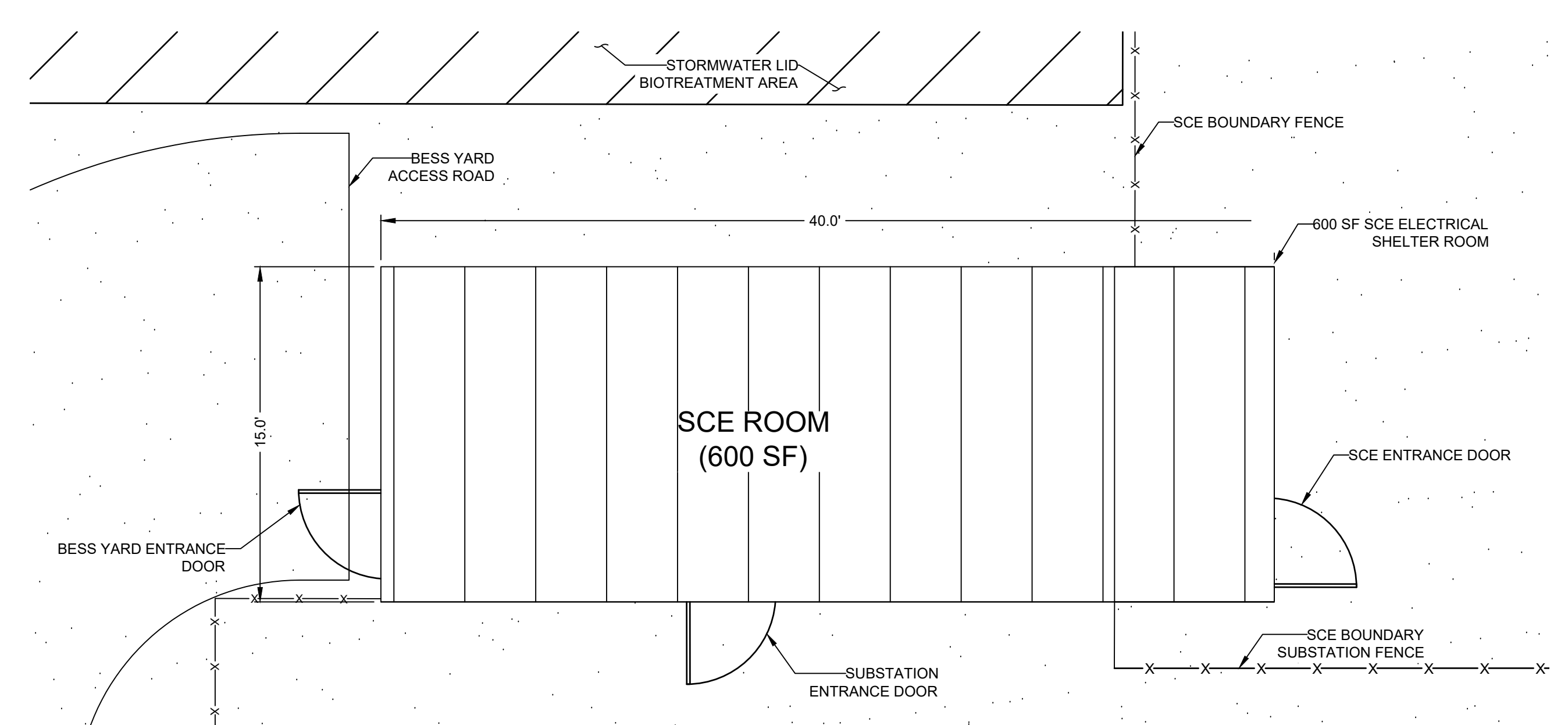
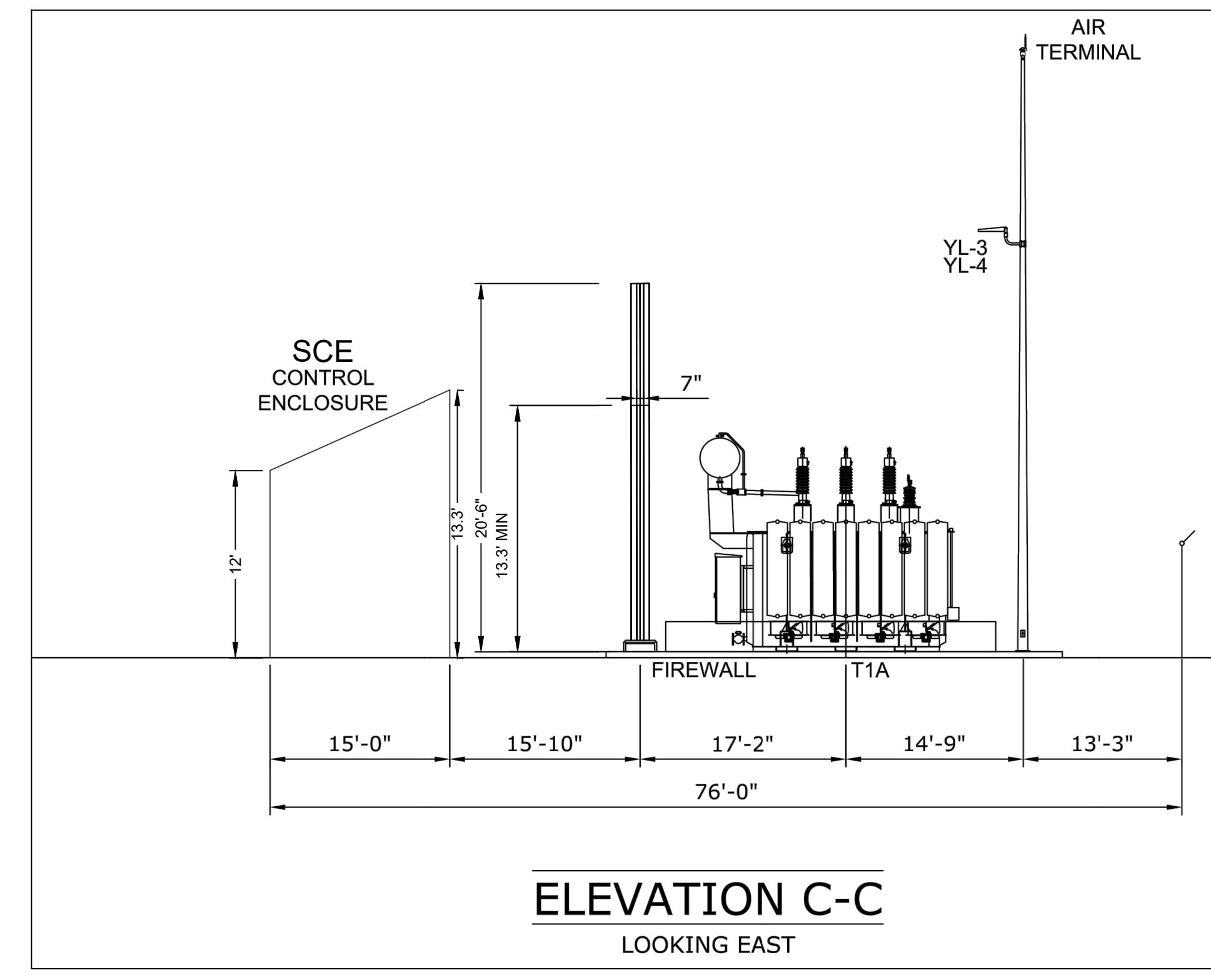
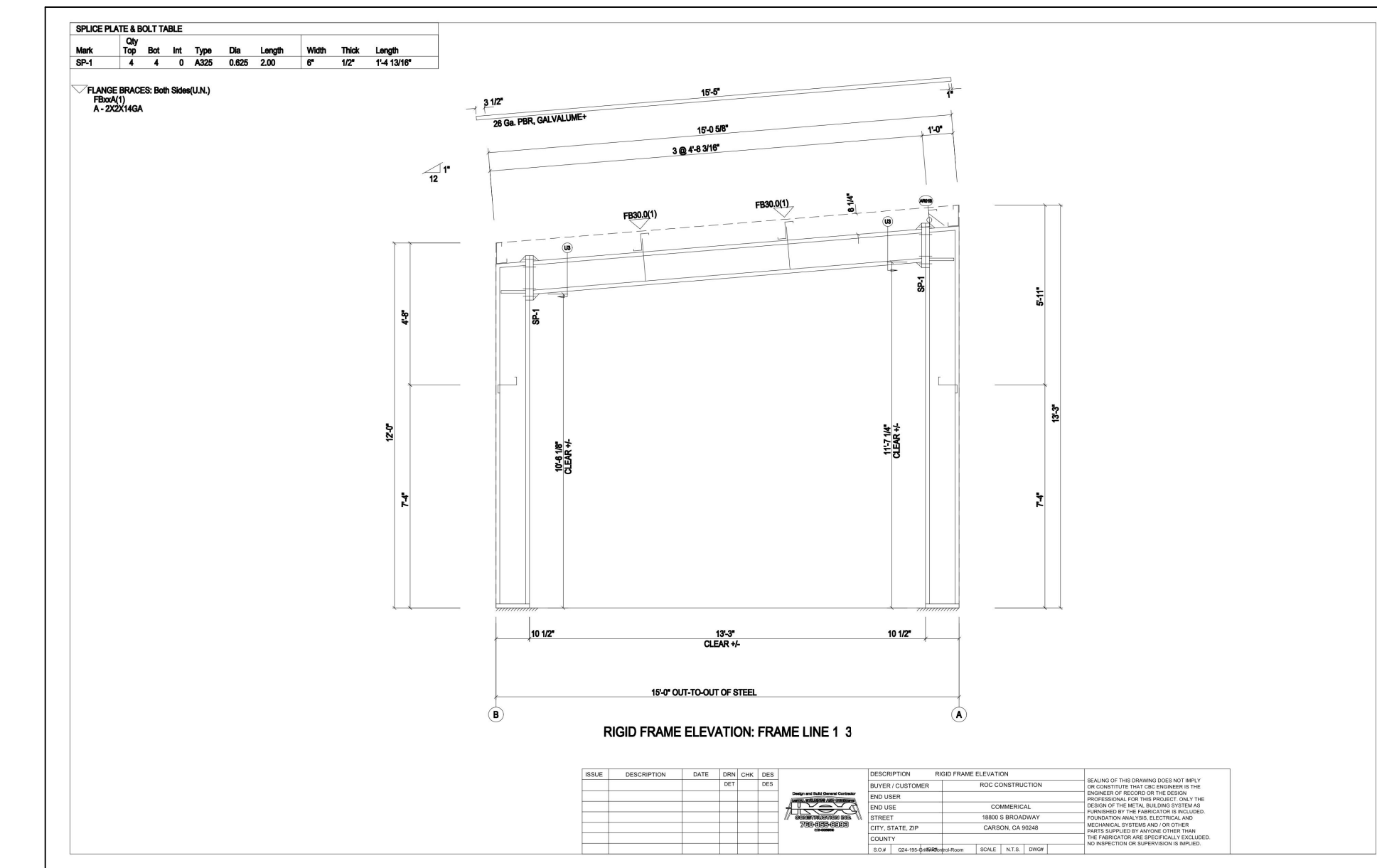
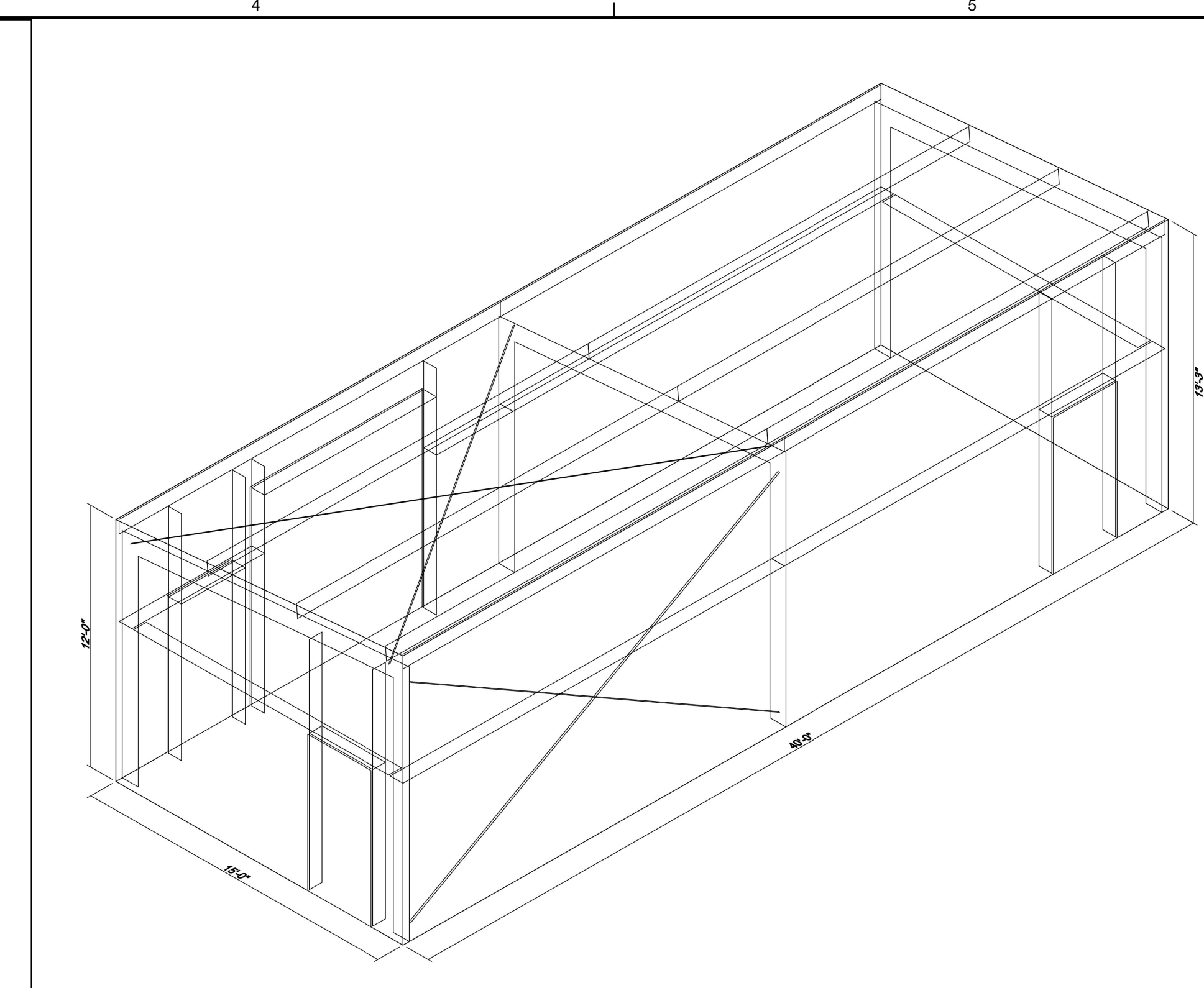
PROJ. NO. 222288
 DRAWN XXX
 CHECKED XXX
 DATE 6/06/2024

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SHEET TITLE:
ENLARGED SCE ROOM PLAN (BY OTHERS)

SHEET NO:

C-3.1



A SCE ELECTRICAL SHELTER DETAILS (BY OTHERS)
 NTS

I:\COFFMAN\COM\PROJECTS\ANCI\22\JOBS\222288 GRIFFITH BATTERY ENERGY STORAGE\00 DWGS\02\22288 ENLARGED SCE ROOM PLAN (BY OTHERS).RVT LAST SAVED: August 14, 2024 - PLOT DATE: 8/28/24

PRELIMINARY - NOT FOR CONSTRUCTION

GRIFFITH ENERGY STORAGE



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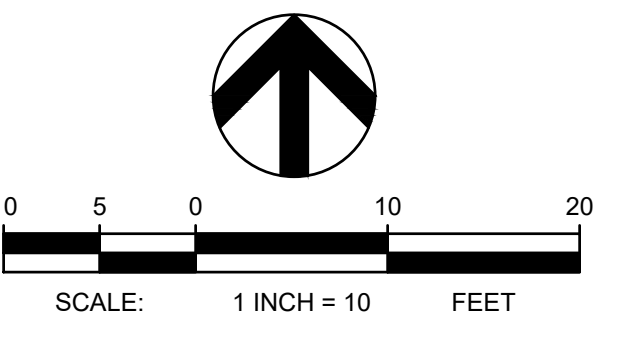
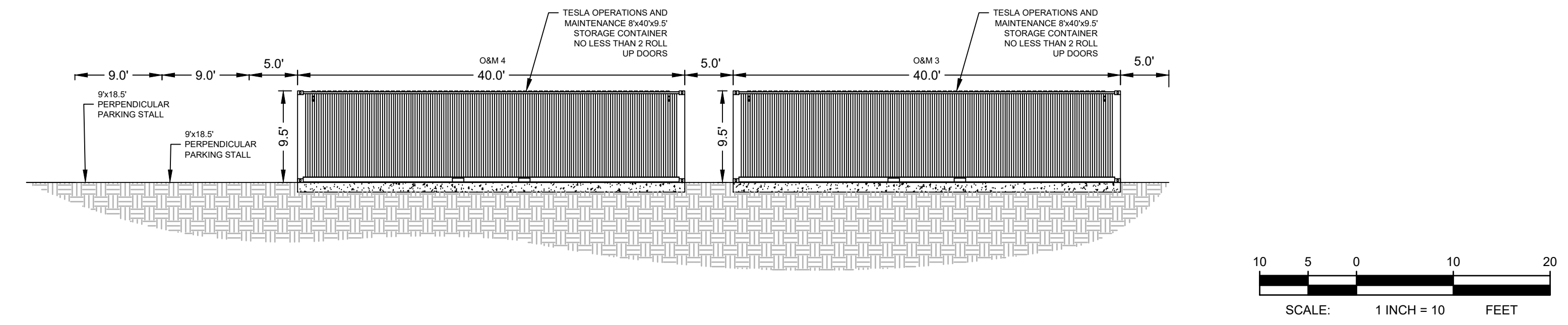
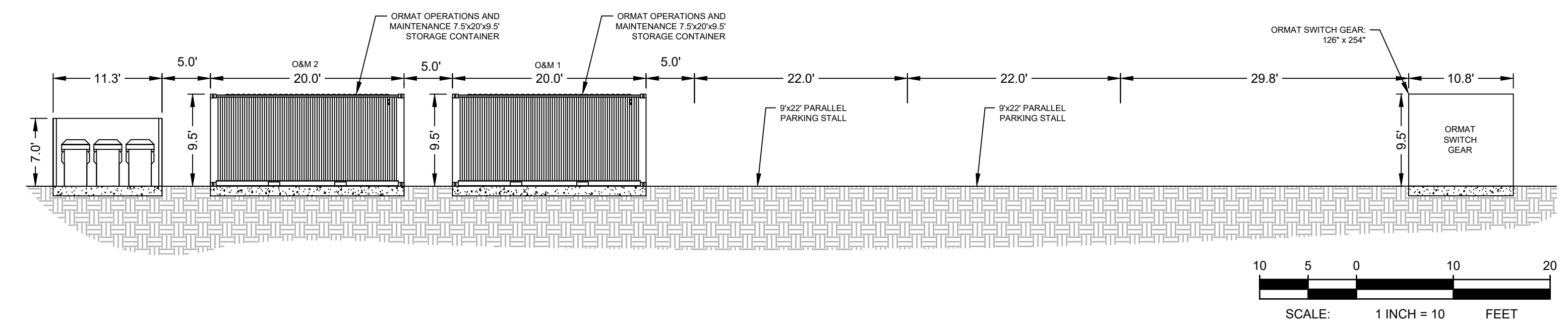
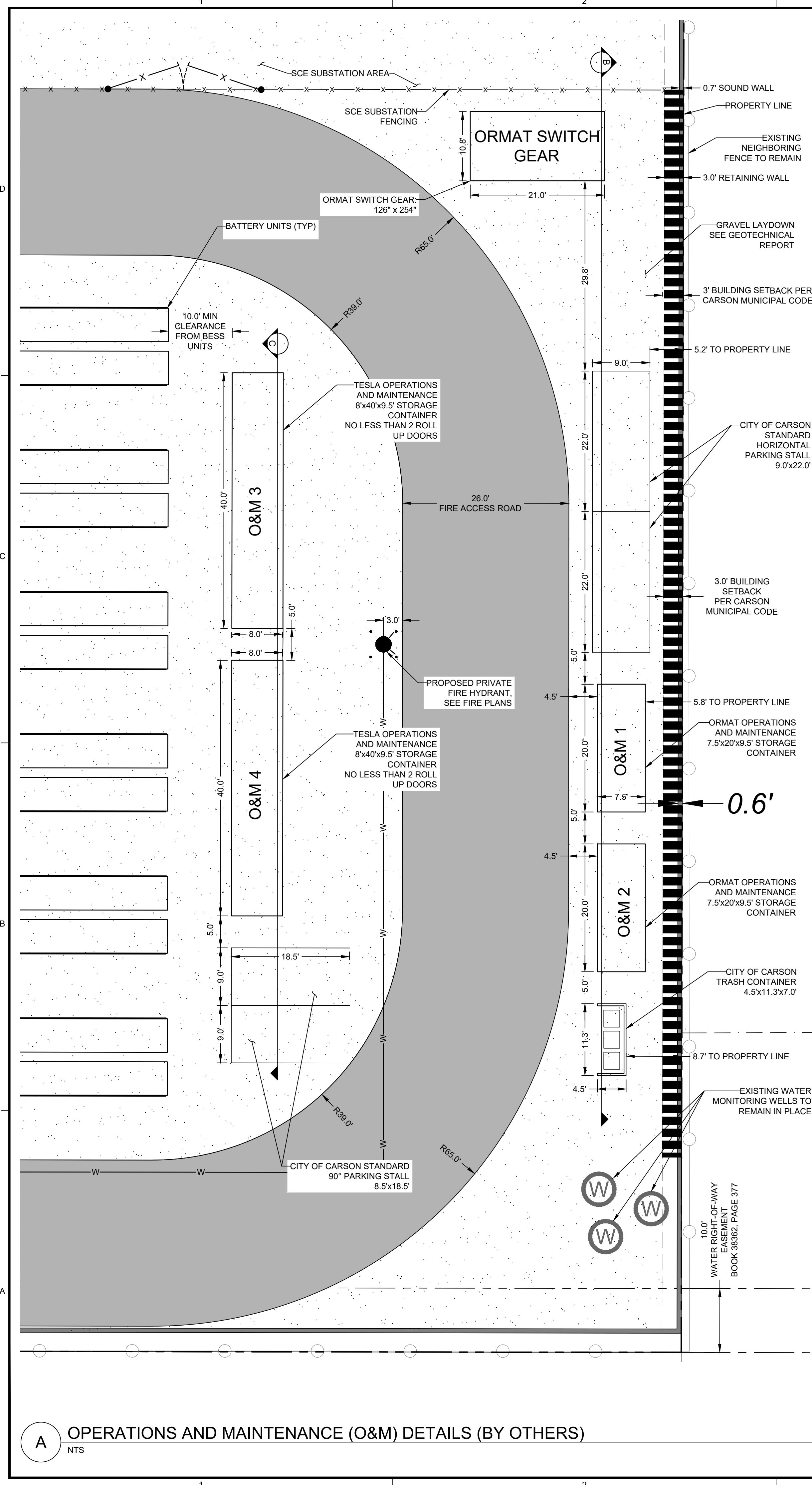
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SHEET TITLE:

ENLARGED O&M PLAN (BY OTHERS)

SHEET NO:

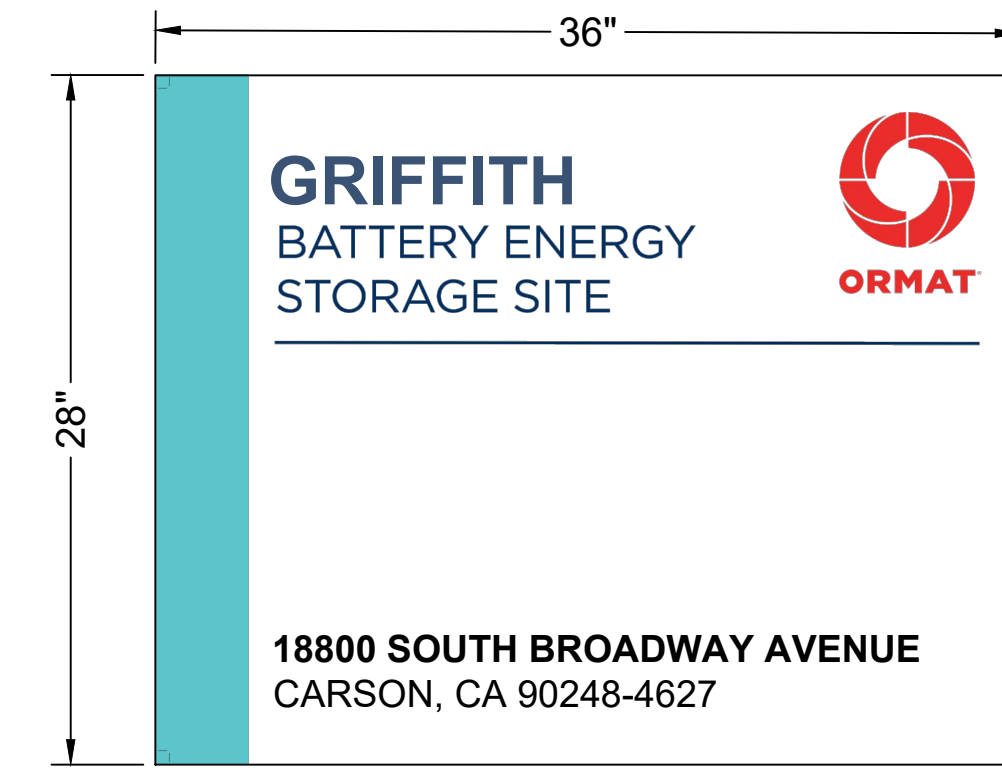
C-3.2



\\COFFMAN.COM\PROJECTS\ANCI\22\2288 GRIFFITH BATTERY ENERGY STORAGE\00 DWG\SS\222288 ENLARGED O&M
 \\COFFMAN.COM\PROJECTS\ANCI\22\2288 GRIFFITH BATTERY ENERGY STORAGE\00 DWG\SS\222288 ENLARGED O&M\DWG ENLARGED O&M PLANS (BY OTHERS) - HOLMES, RYAN - LAST SAVED - August 27, 2024 - PLOT DATE: 8/28/24

U:\COFFMAN\PROJECTS\BATTERY ENERGY STORAGE\DWG\DETAILS\HOLMES, RYAN - LAST SAVED: August 14, 2024 - PLOT DATE: 8/28/24

NOTES:
1. SIGN SHALL MEET ALL CITY CODE REQUIREMENTS. FINAL SIGN MESSAGING AND LOGOS BY OWNER.



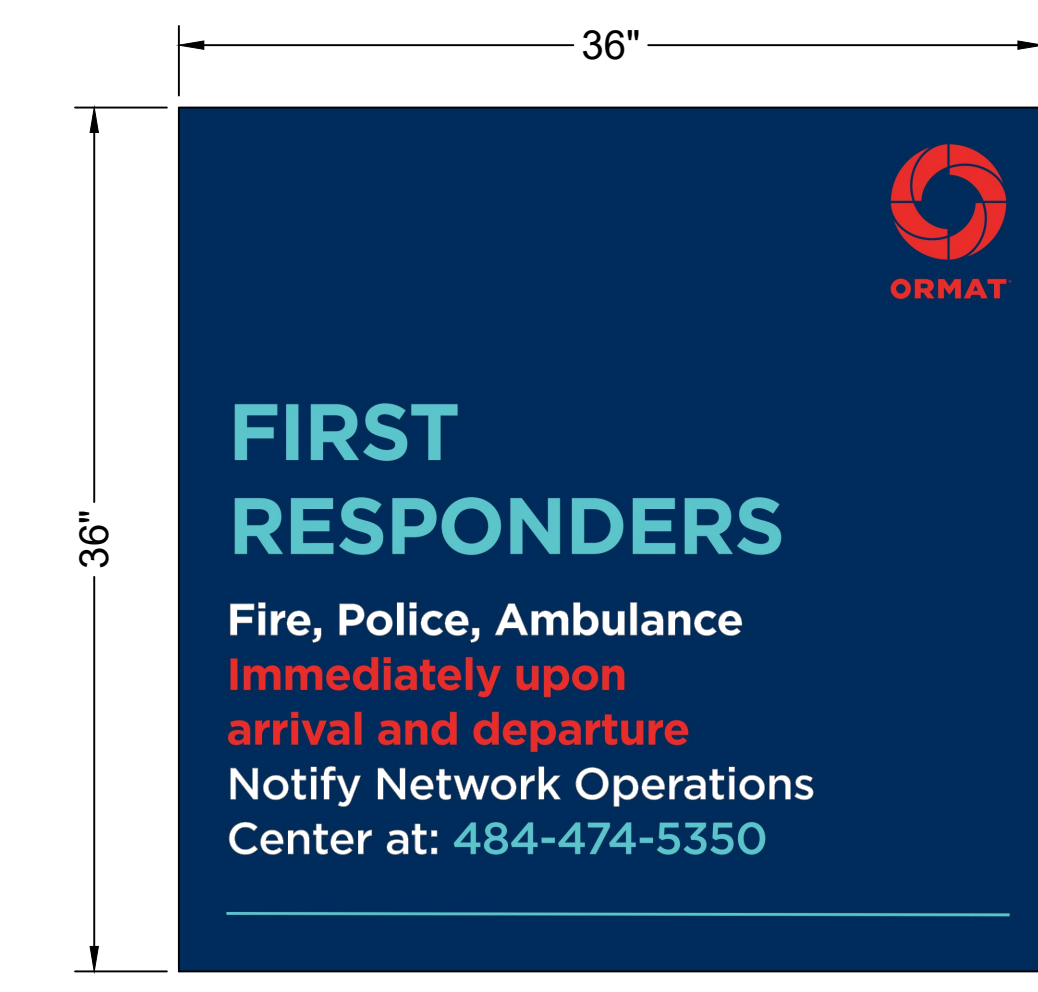
C SITE ADDRESS FENCE SIGN
NTS

NOTES:
1. SIGN SHALL MEET ALL CITY CODE REQUIREMENTS. FINAL SIGN MESSAGING AND LOGOS BY OWNER.

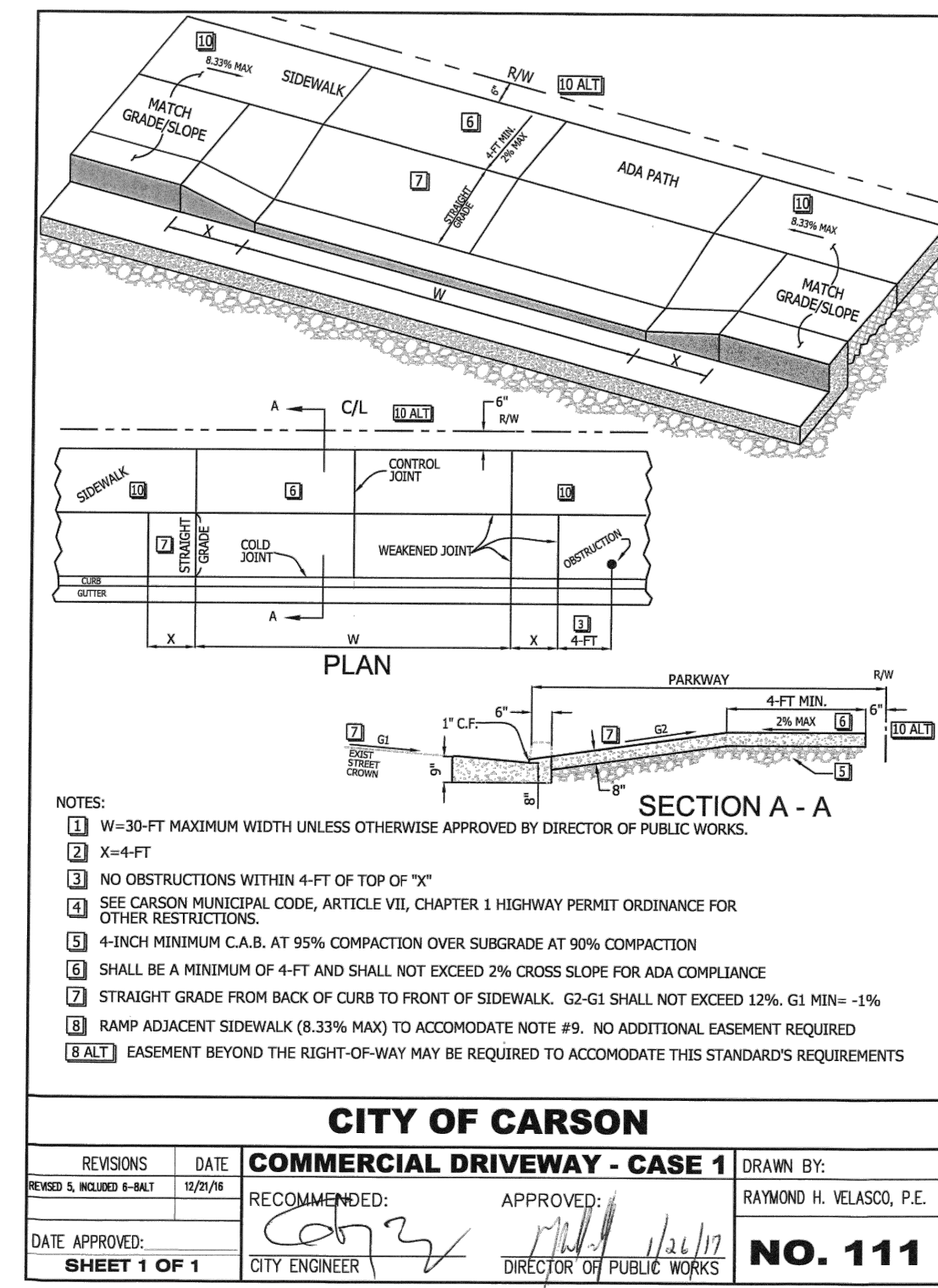


B VISITOR & CONTRACTOR REGISTRATION FENCE SIGN
NTS

NOTES:
1. SIGN SHALL MEET ALL CITY CODE REQUIREMENTS. FINAL SIGN MESSAGING AND LOGOS BY OWNER.



A FIRST RESPONDERS FENCE SIGN
NTS



D CITY OF CARSON STD COMMERCIAL DRIVEWAY - CASE 1
NTS

COFFMAN ENGINEERS
1939 Harrison Street, Suite 320
Oakland, CA 94612
ph 510.251.9578
www.coffman.com

PRELIMINARY - NOT FOR CONSTRUCTION

GRIFFITH ENERGY STORAGE



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2	8/14/23	REVISED LAYOUT
1	2/21/23	ENTITLEMENT

PROJ. NO.	222288
DRAWN	LB
CHECKED	RB
DATE	6/06/2024

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SHEET TITLE:

DETAILS (BY OTHERS)

SHEET NO:

C-4.0

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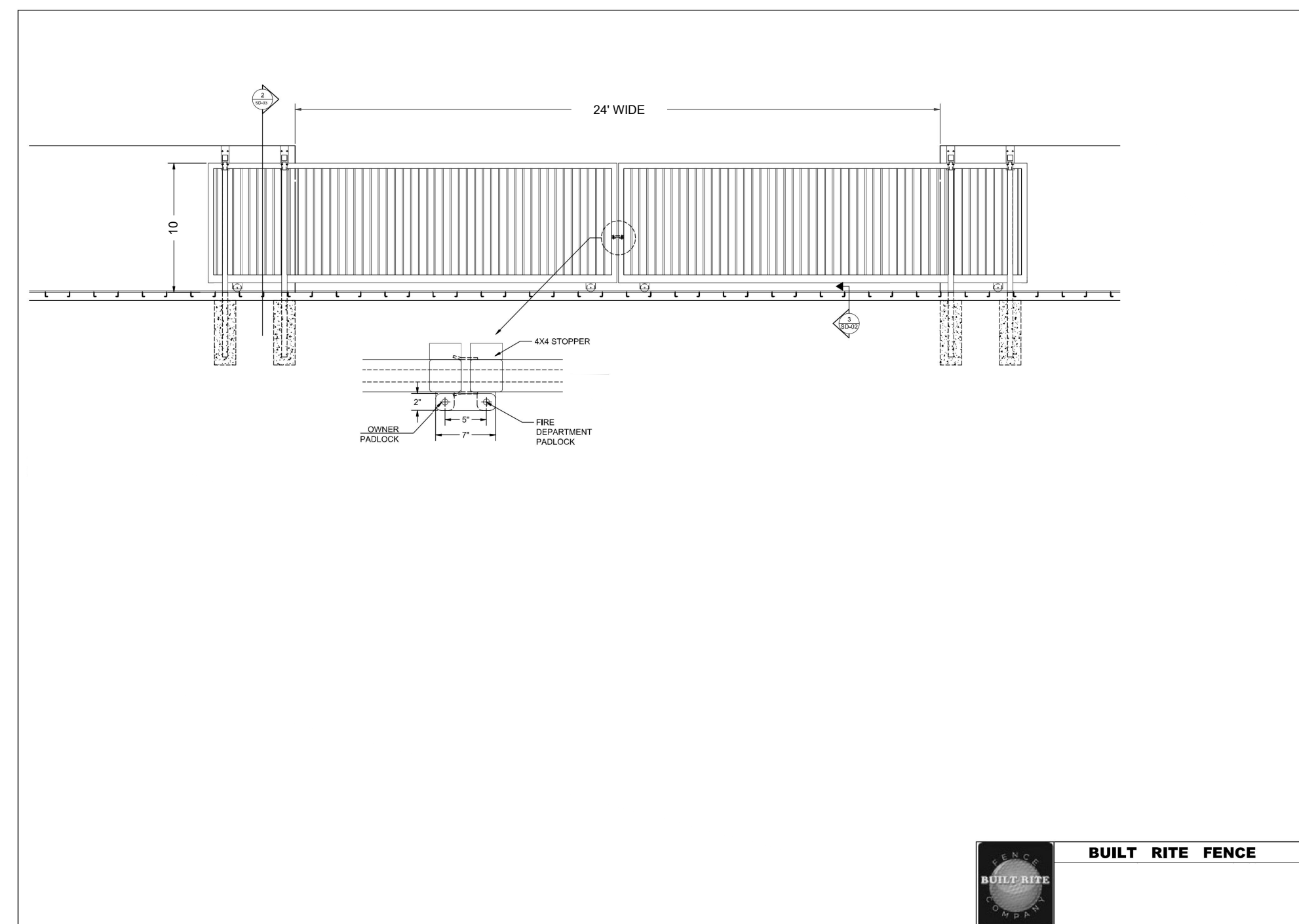
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2	8/14/23	REVISED LAYOUT
1	2/21/23	ENTITLEMENT

PROJ. NO. 222288
 DRAWN LB
 CHECKED RB
 DATE 6/06/2024

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 SHEET TITLE:

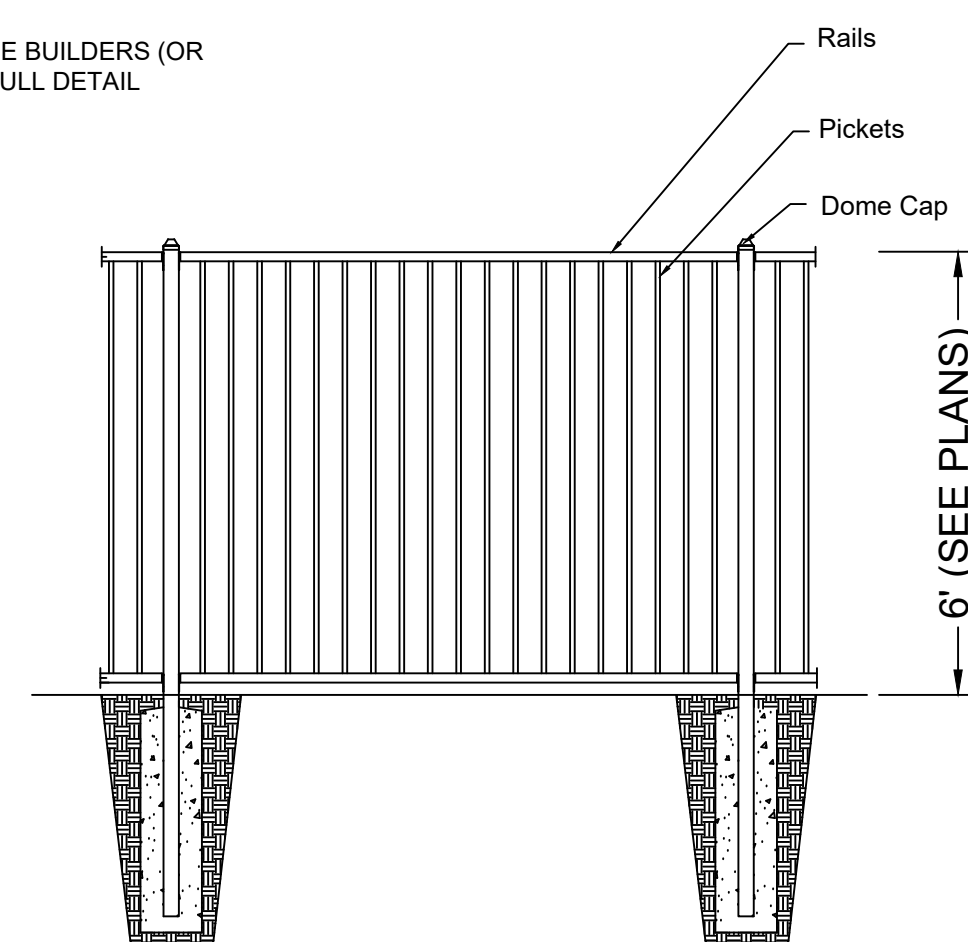
FENCE DETAILS (BY OTHERS)
 BY OTHERS

SHEET NO:
C-4.1



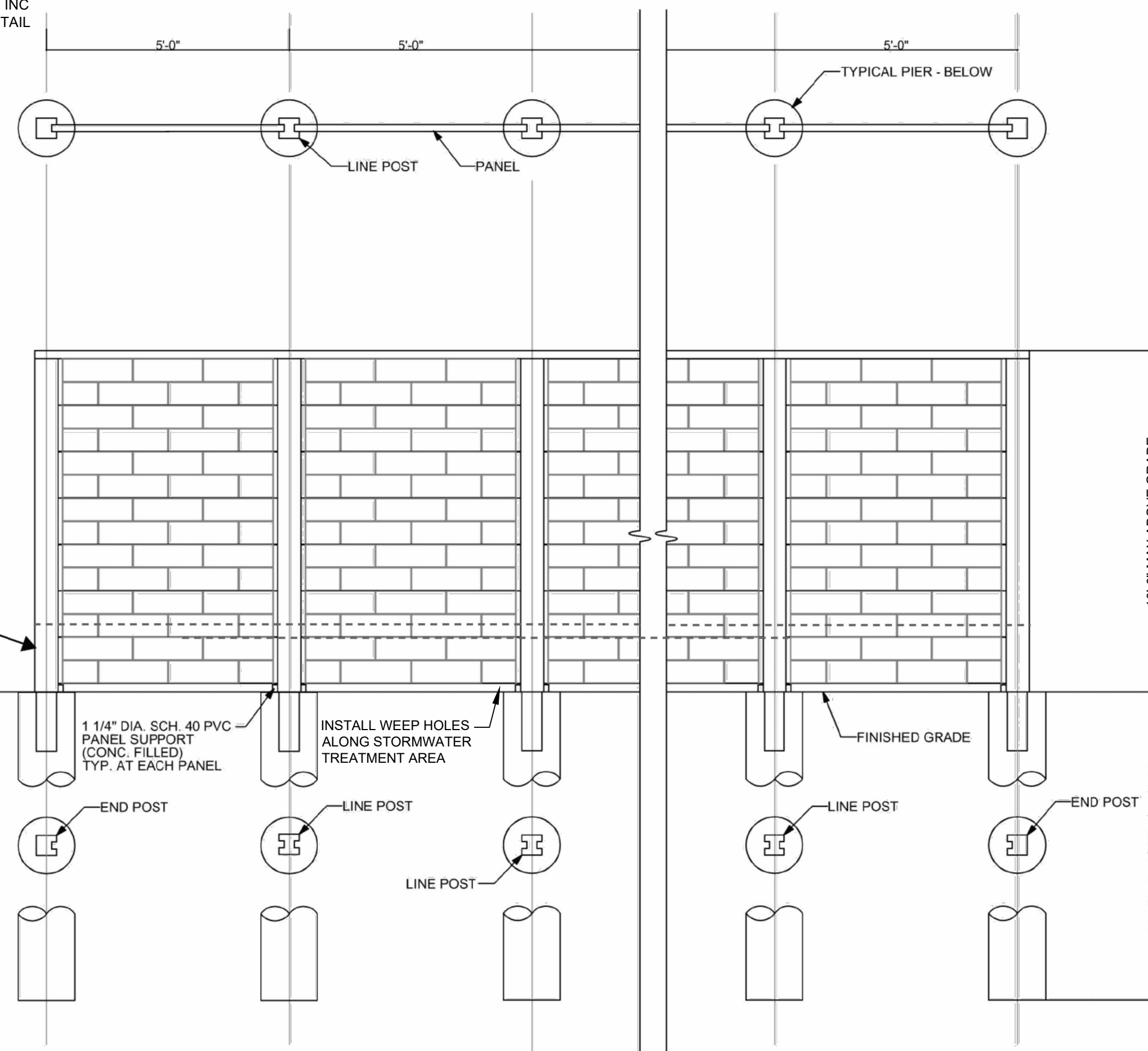
G 24' WIDE SLIDING FENCE (BY OTHERS)
 NTS

NOTE:
 1. FOR REFERENCE ONLY
 2. SEE LOSE ANGELES FENCE BUILDERS (OR APPROVED EQUAL) FOR FULL DETAIL



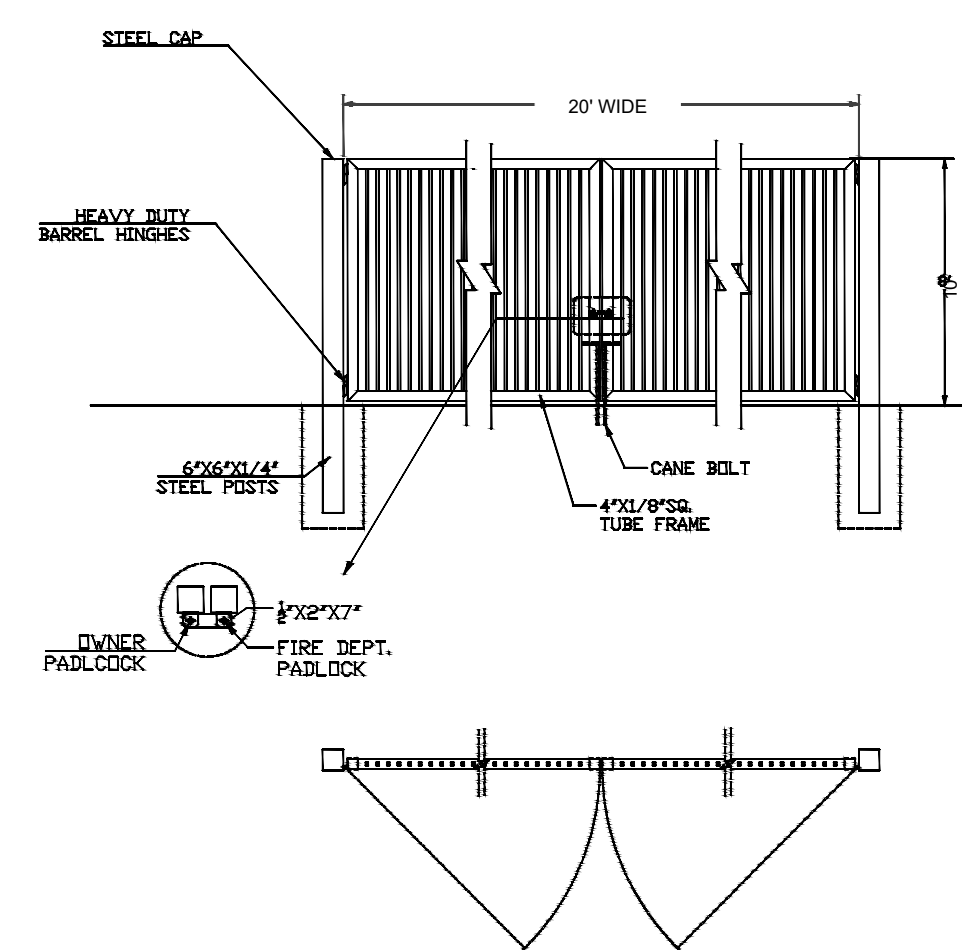
E 6' WROUGHT IRON FENCE (BY OTHERS)
 NTS

NOTE:
 1. FOR REFERENCE ONLY
 2. SEE AMERICAN PRECAST CONCRETE INC (OR APPROVED EQUAL) FOR FULL DETAIL
 3. INSTALL WEEP HOLES ALONG STORMWATER TREATMENT AREA



ELEVATION - SCREENING WALL AND PIERS

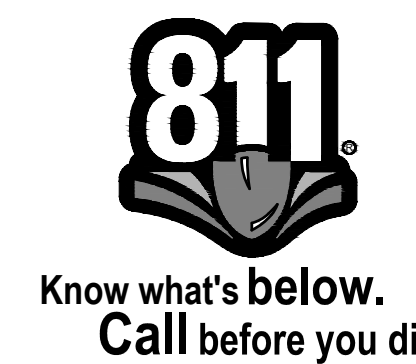
D 10' TALL PRECAST MASONRY FENCE (BY OTHERS)
 NTS



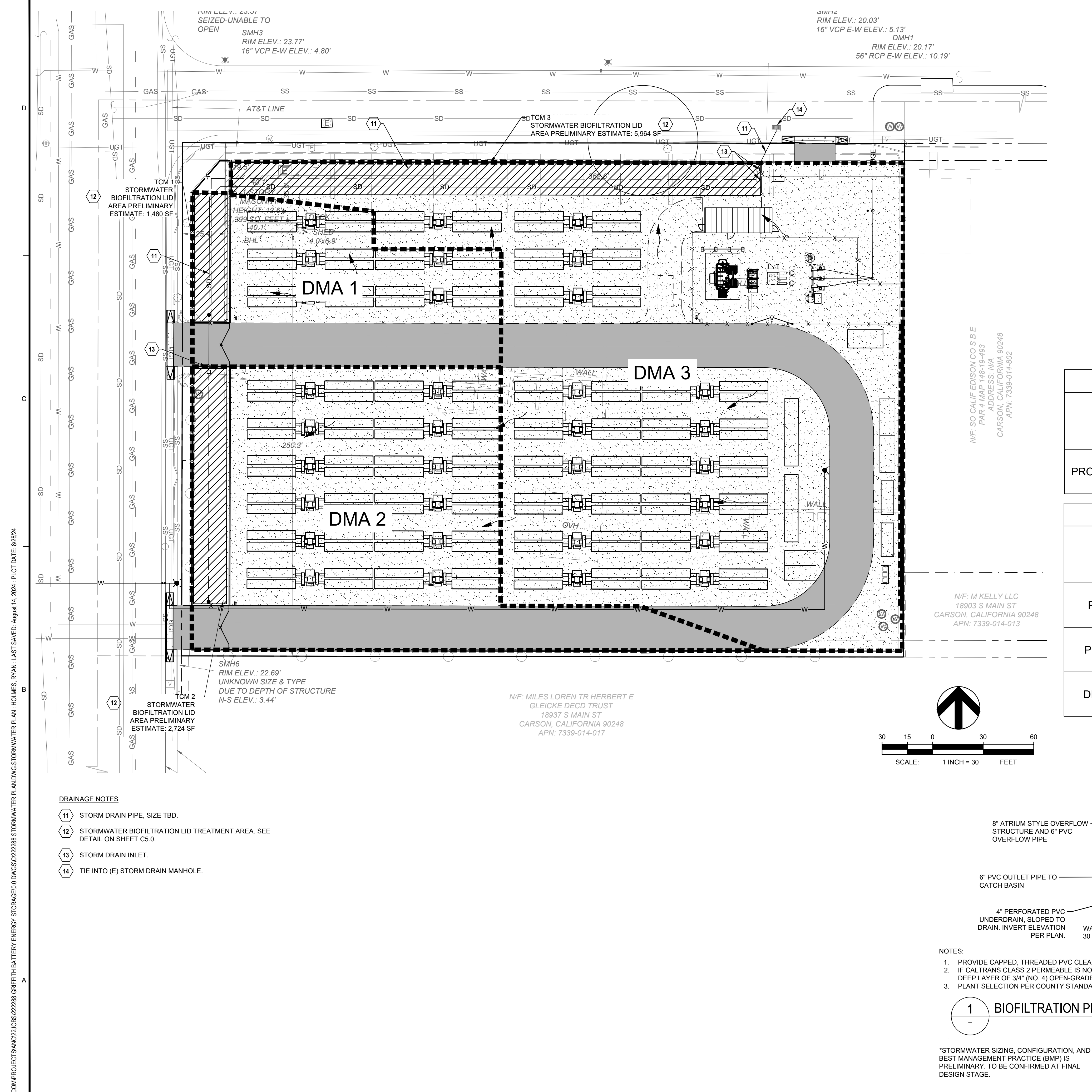
F 20' WIDE SWING FENCE (BY OTHERS)
 NTS

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I:\COFFMAN\PROJECTS\INDUSTRIAL\GRIFFITH BATTERY ENERGY STORAGE\0222288 GRIFFITH BATTERY ENERGY STORAGE\DWGS\0222288 DETAILS.DWG (REVISED: 08/14/2024) PLOT DATE: 8/28/24



STORMWATER NOTES:

- PRELIMINARY SIZING IS BASED ON THE LA COUNTY LOW IMPACT DEVELOPMENT (LID) STANDARDS MANUAL.
- THE PROPOSED SITE IS LOCATED WITHIN THE URBAN FLOOD ZONE.
- THIS ANALYSIS UTILIZES THE 85TH PERCENTILE STORM EVENT PER LID REQUIREMENTS. THIS DOES NOT CONSIDER HYDROMODIFICATION (ESTIMATED AT 1 ACRE OR MORE OF IMPERVIOUS DEVELOPMENT) FOR THE SITE.
- PER THE GEOTECHNICAL ENGINEERING REPORT BY EARTH SYSTEMS PACIFIC (DATED FEBRUARY 29, 2024, REVISED APRIL 5, 2024) STORMWATER INFILTRATION IS NOT RECOMMENDED DUE TO DEBRIS LADEN FILLS, RELATIVELY SHALLOW GROUNDWATER AND POTENTIAL FOR CONTAMINATED SOILS.

LEGEND
DRAINAGE ROUTE →

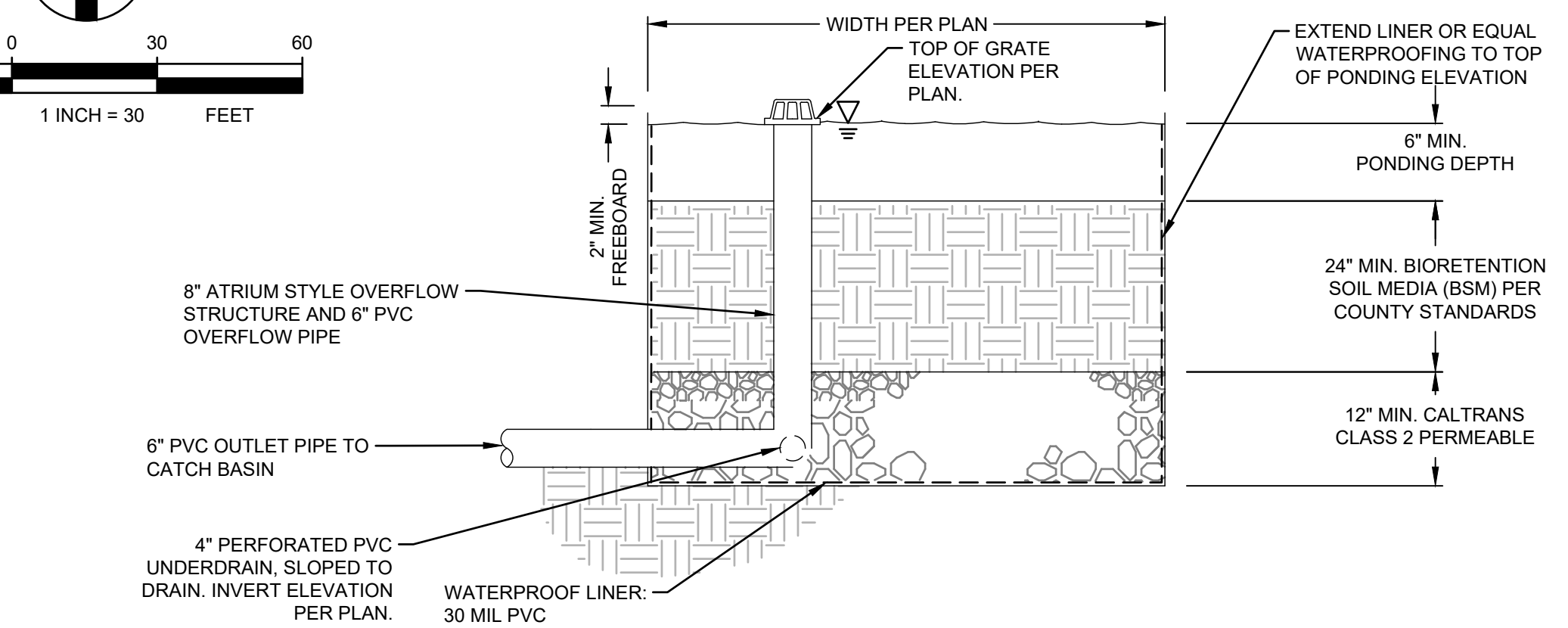
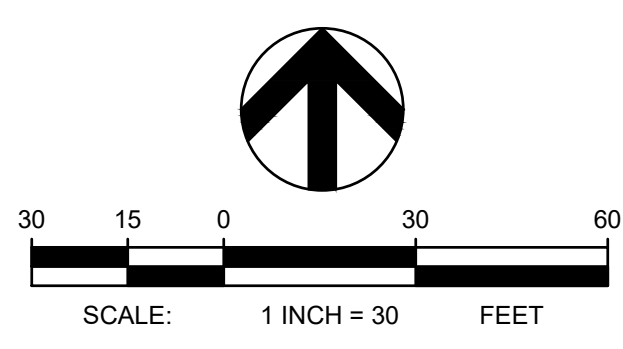
ABBREVIATIONS
DMA DRAINAGE MANAGEMENT AREA

IMPERVIOUS AREA			
	DMA 1	DMA 2	DMA 3
IMPERVIOUS (SF)	14,400	31,176	65,836
STORMWATER TREATMENT AREA (SF)	1,480	2,724	5,964
TOTAL AREA (SF)	15,880	33,900	33,900
FENCED AREA (SF)	15,880	33,900	71,800
% IMPERVIOUS	91	92	92

HYDROCALC OUTPUTS - LID							
	DESIGN STORM	FENCED AREA (ACRE)	PEAK INTENSITY (IN/HR)	RUNOFF COEFFICIENT	TC	PEAK FLOW RATE (CFS)	RUNOFF VOLUME (CU-FT)
PROPOSED	85TH PERCENTILE	2.79	0.40	0.78	14	0.88	8,618

HYDROCALC OUTPUTS - HYDROLOGY							
	DESIGN STORM	TOTAL AREA (ACRE)	PEAK INTENSITY (IN/HR)	RUNOFF COEFFICIENT	TC	PEAK FLOW RATE (CFS)	RUNOFF VOLUME (CU-FT)
PRE-	25-YEAR	2.99	3.20	0.90	5	8.02	45,606
POST-	25-YEAR	2.99	3.20	0.90	5	8.02	46,653
DELTA							1,047

- DRAINAGE NOTES**
- 11 STORM DRAIN PIPE, SIZE TBD.
 - 12 STORMWATER BIOFILTRATION LID TREATMENT AREA. SEE DETAIL ON SHEET C5.0.
 - 13 STORM DRAIN INLET.
 - 14 TIE INTO (E) STORM DRAIN MANHOLE.



- NOTES:**
- PROVIDE CAPPED, THREADED PVC CLEANOUT FOR UNDERDRAIN, 4" MIN. WITH SWEEP BEND.
 - IF CALTRANS CLASS 2 PERMEABLE IS NOT AVAILABLE, SUBSTITUTE CLASS 3 PERMEABLE WITH AN OVERLYING 3" DEEP LAYER OF 3/4" (NO. 4) OPEN-GRADED AGGREGATE.
 - PLANT SELECTION PER COUNTY STANDARDS AND ARCHITECT.

1 BIOFILTRATION PLANTER*

*STORMWATER SIZING, CONFIGURATION, AND BEST MANAGEMENT PRACTICE (BMP) IS PRELIMINARY. TO BE CONFIRMED AT FINAL DESIGN STAGE.

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1	2/21/23	ENTITLEMENT

PROJ. NO. 222288
 DRAWN LB
 CHECKED RB
 DATE 6/06/2024

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 SHEET TITLE:

PRELIMINARY WATER QUALITY MANAGEMENT PLAN

SHEET NO:
C-5.0

PRELIMINARY - NOT FOR CONSTRUCTION

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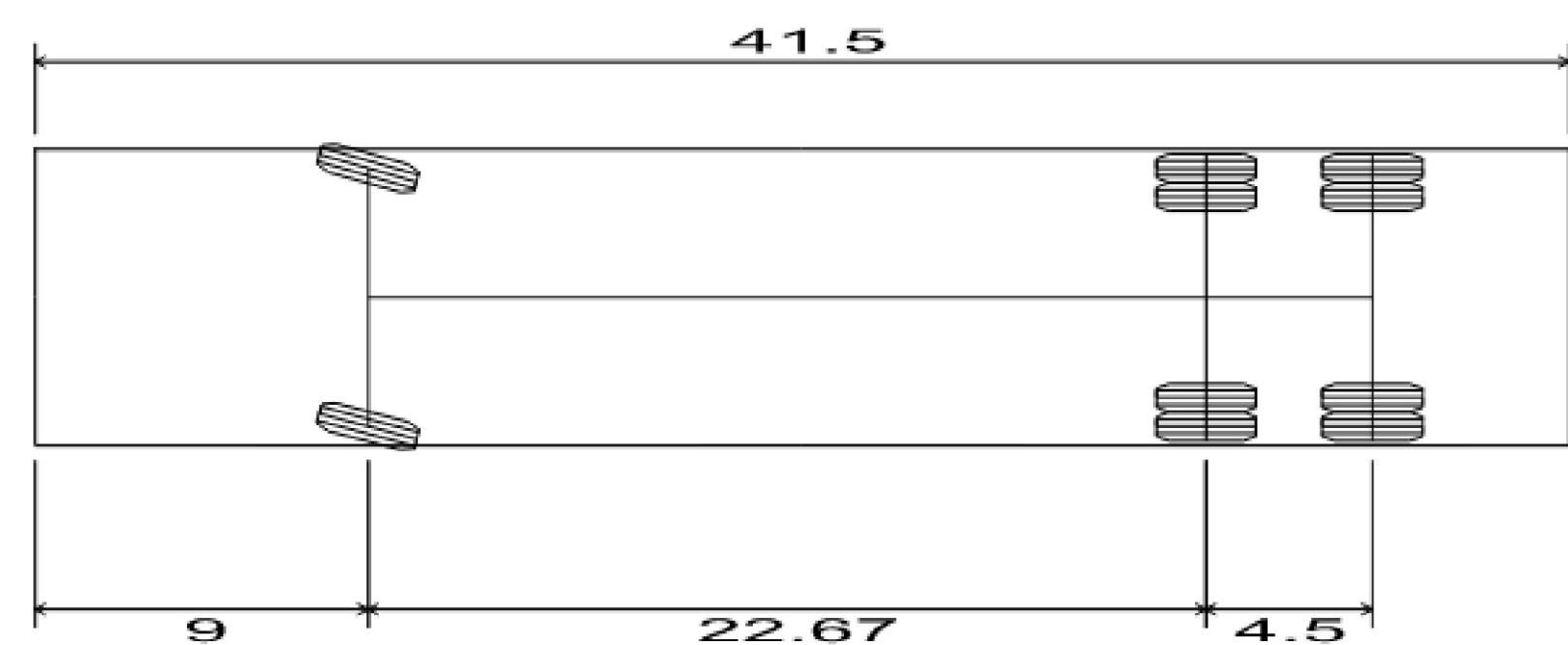
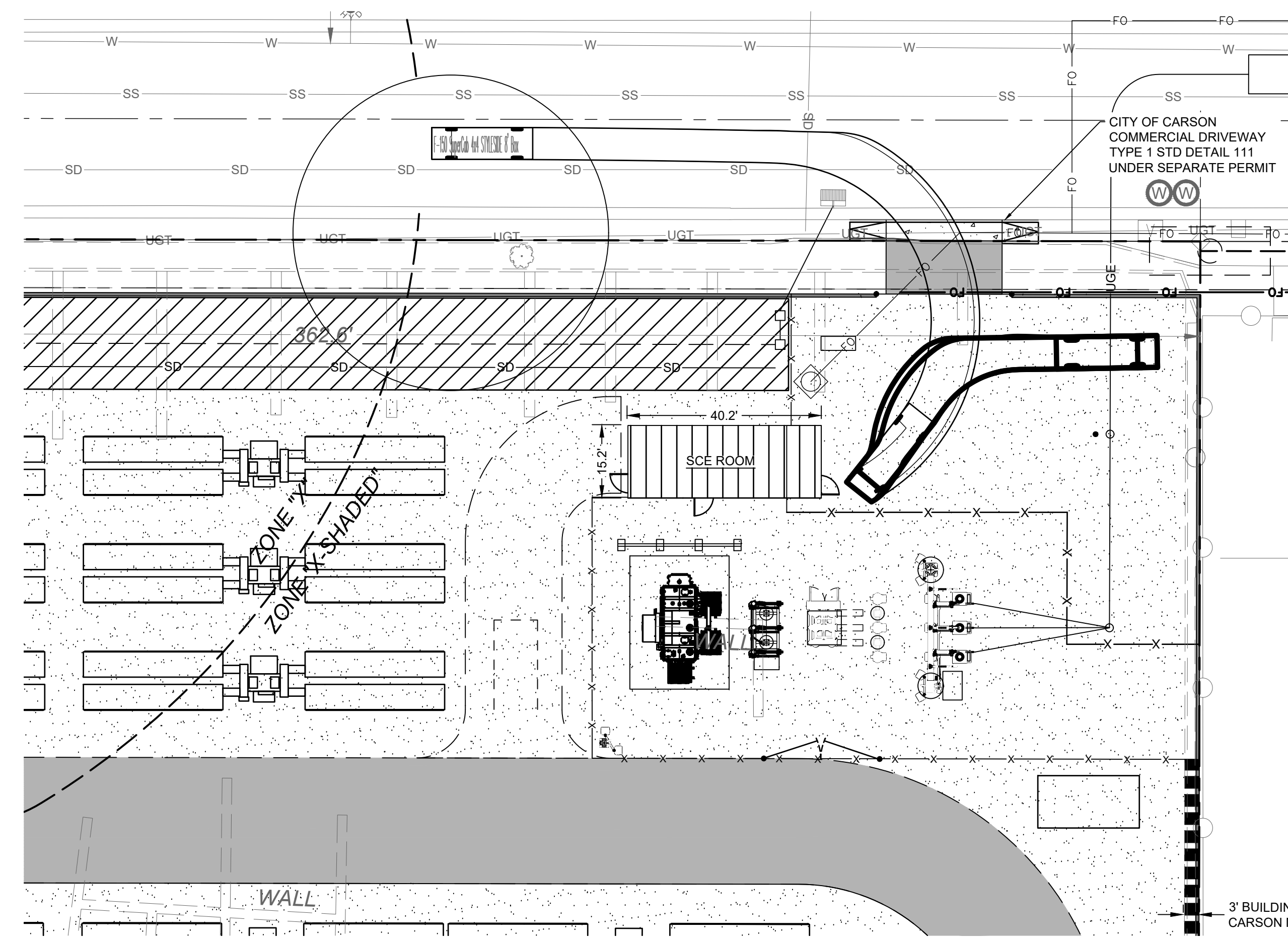
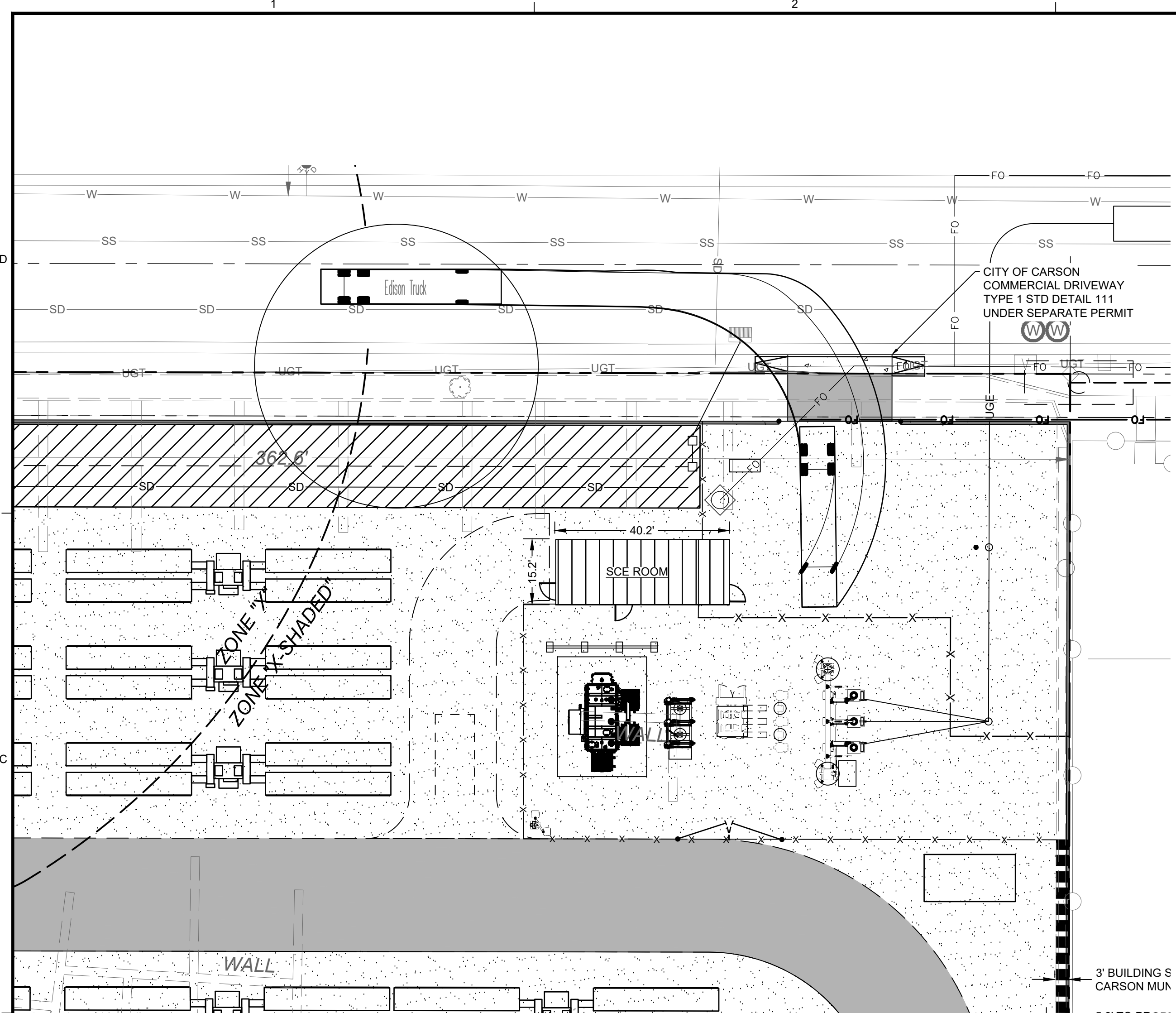
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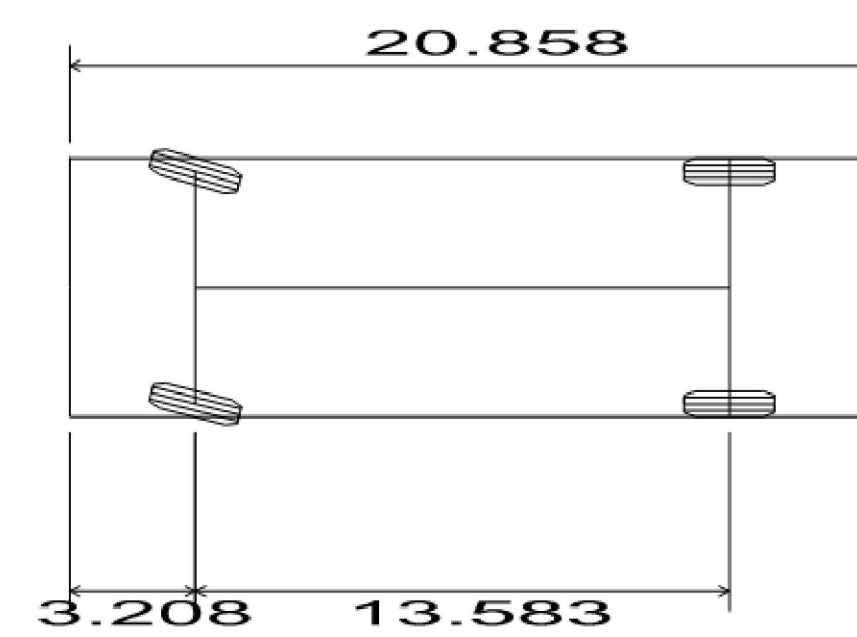
SHEET TITLE:
TURNING EXHIBIT

SHEET NO:
C-6.0



EDISON TRUCK

OVERALL LENGTH	41.500'
OVERALL WIDTH	8.000'
OVERALL BODY HEIGHT	12.819'
MIN. BODY GROUND CLEARANCE	1.284'
TRACK WIDTH	7.750'
LOCK-TO-LOCK TIME	4.0 SEC
CURB TO CURB TURNING RADIUS	50.000'



F150 4X4 TRUCK

OVERALL LENGTH	20.858'
OVERALL WIDTH	6.575'
OVERALL BODY HEIGHT	6.392'
MIN. BODY GROUND CLEARANCE	0.833'
TRACK WIDTH	6.575'
LOCK-TO-LOCK TIME	4.0 SEC
CURB TO CURB TURNING RADIUS	26.150'

I:\COFFMAN\COMPROJECTS\BATTERY ENERGY STORAGE\0222288 GRIFFITH BATTERY ENERGY STORAGE\0222288 CIVIL SITE PLAN\10' SPACING.DWG:VEHICLE TRACKING - HOLMES, RYAN - LAST SAVED: August 28, 2024 - PLOT DATE: 8/28/24

PLANT SCHEDULE

SYMBOL	BOTANICAL / COMMON NAME	QTY	SPACING	SIZE
TREES				
	ARBUS X 'MARINA' / MARINA STRAWBERRY TREE STANDARD	6	AS SHOWN	24" BOX
	CALLISTEMON VIMALIS / WEEPING BOTTLEBRUSH	6	AS SHOWN	15 GAL.
	CERCIS OCCIDENTALIS / WESTERN REDBUD MULTI-TRUNK	11	AS SHOWN	15 GAL.
	GEIJERA PARVIFLORA / AUSTRALIAN WILLOW	6	AS SHOWN	24" BOX
VINES				
	BOUGAINVILLEA X 'GOLD RUSH' / GOLD RUSH BOUGAINVILLEA BOUGAINVILLEA X 'MONETH' / PURPLE QUEEN® BOUGAINVILLEA CLEMATIS LIGUSTICIFOLIA / WESTERN CLEMATIS	36	AS SHOWN	5 GAL. 5 GAL. 5 GAL.

SYMBOL	BOTANICAL / COMMON NAME	QTY	SPACING	SIZE
SHRUB AREAS				
	STREETSCAPE SHRUBS	6,980 SF		
	ENCELIA CALIFORNICA / CALIFORNIA ENCELIA	151	33% @ 48" o.c.	5 GAL.
	ARBUS UNEDO 'COMPACTA' / COMPACT STRAWBERRY TREE	68	33% @ 72" o.c.	5 GAL.
	CEANOTHUS THYRSIFLORUS 'SNOW FLURRY' / SNOW FLURRY BLUEBLOSSOM	38	33% @ 96" o.c.	5 GAL.

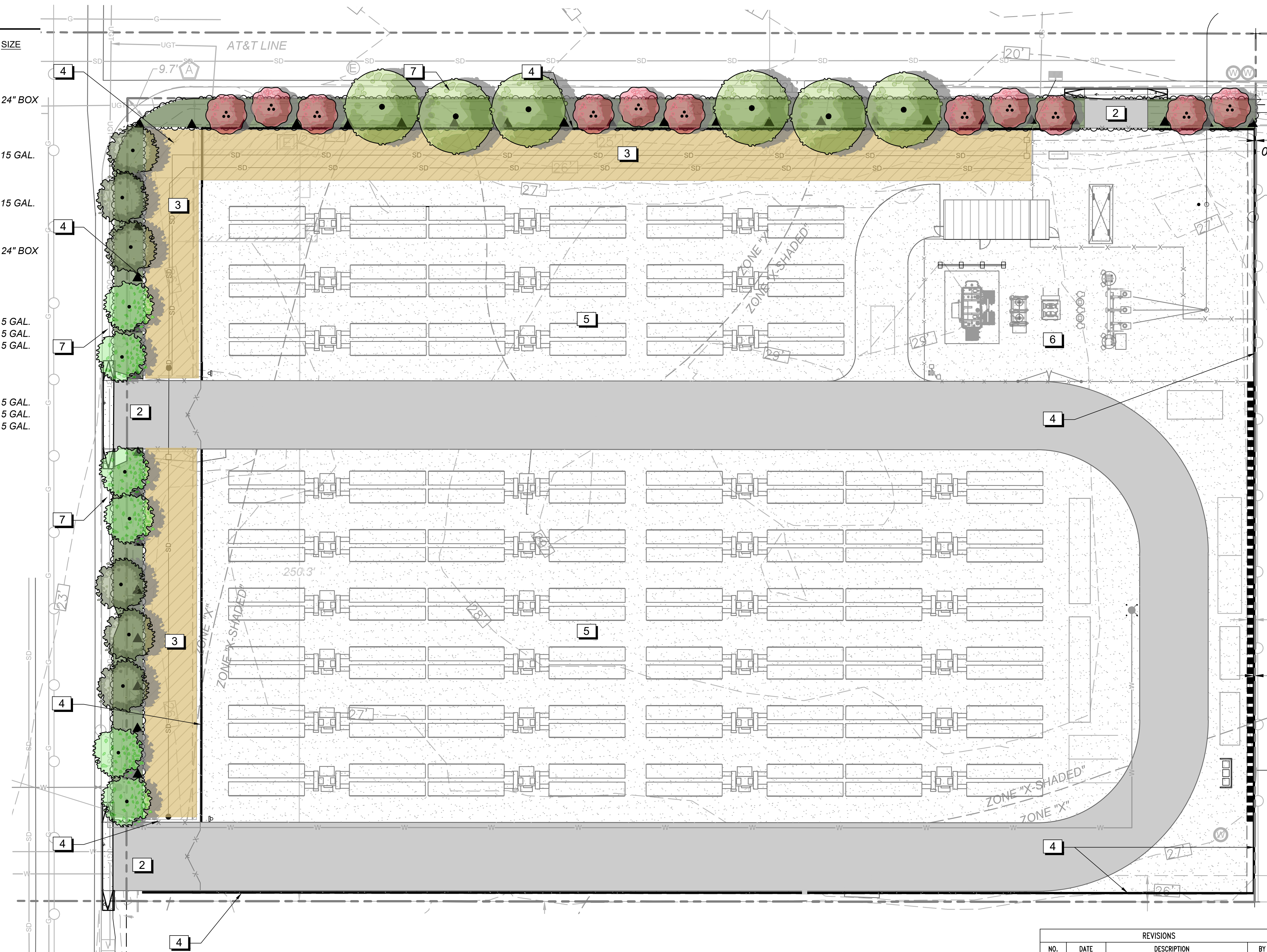
SYMBOL	BOTANICAL / COMMON NAME	QTY
HYDROSEED AREAS		
	STORMWATER BASIN SEED MIX	10,804 SF
	EPILOBIUM CANUM LATIFOLIUM / CALIFORNIA FUCHSIA	
	MUHLENBERGIA RIGENS / DEER GRASS	
	ACMISPON GLABER / DEERWEED	
	PLANTAGO ERRECTA / DOTSEED PLANTAIN	
	LEYMUS TRITICOIDES 'GREY DAWN' / GREY CREEPING WILD RYE	
	ERYTHRANTHE GUTTATA / YELLOW MONKEYFLOWER	

MAP KEY

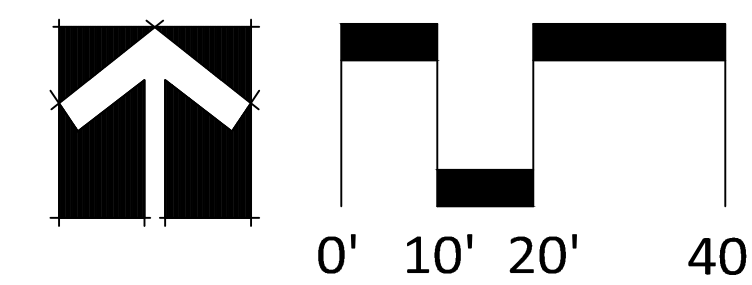
SYMBOL	DESCRIPTION
	LANDSCAPE BUFFER
	ENTRY DRIVEWAY
	LID SWALE (SEE CIVIL PLANS CUT/FILL QUANTITIES)
	6-FT WROUGHT IRON FENCE
	BATTERY UNITS AND INVERTERS, TYP.
	SUBSTATION
	SIDEWALK
	CONCRETE OR CMU WALL

PLANTING & IRRIGATION NOTES:

- LANDSCAPE PLANTINGS AND IRRIGATION HAVE BEEN DESIGNED IN COMPLIANCE WITH THE CITY OF CARSON GUIDELINES AND STANDARDS FOR LANDSCAPE PLANTING AND IRRIGATION PLANS AND THE CALIFORNIA MODEL WATER EFFICIENT LANDSCAPE ORDINANCE.
- ALL SHRUB AND TREE AREAS WILL BE MULCHED WITH COBBLE AND WILL BE IRRIGATED.
- PLANTING AND IRRIGATION PLANS ARE ANTICIPATED TO BE ON 22" X 34" OR 24" X 36" SHEETS AT A SCALE OF 1" = 20'.
- ALL EXISTING TREES WILL BE REMOVED AS PART OF SITE CONSTRUCTION.
- APPLICATION RATES FOR SEED (IN POUNDS PER ACRE OF PURE LIVE SEED) WILL BE DETERMINED DURING DETAILED DESIGN AND PREPARATION OF CONSTRUCTION DOCUMENTS.



SCALE: 1" = 20' @ 24" X 36"



DUDEK

605 Third Street
Encinitas, CA 92024
Ph. 760-942-5147

REVISIONS			
NO.	DATE	DESCRIPTION	BY
1	11/15/23	UPDATED SITE PLAN	MRT
2	2/22/24	UPDATED SITE PLAN	ETA
3	8/21/24	UPDATED SITE PLAN	MRT

GRIFFITH ENERGY STORAGE PROJECT

PRELIMINARY LANDSCAPE PLAN

PROJECT NO. 12782.05	SCALE: AS NOTED	DATE: 11/15/2023	REVISION NO. 01
DESIGNED BY: EA/MT	CHECKED BY: JZ	DRAWING NO. LS-1	
DRAWN BY: EA	REVIEWED BY: JZ		

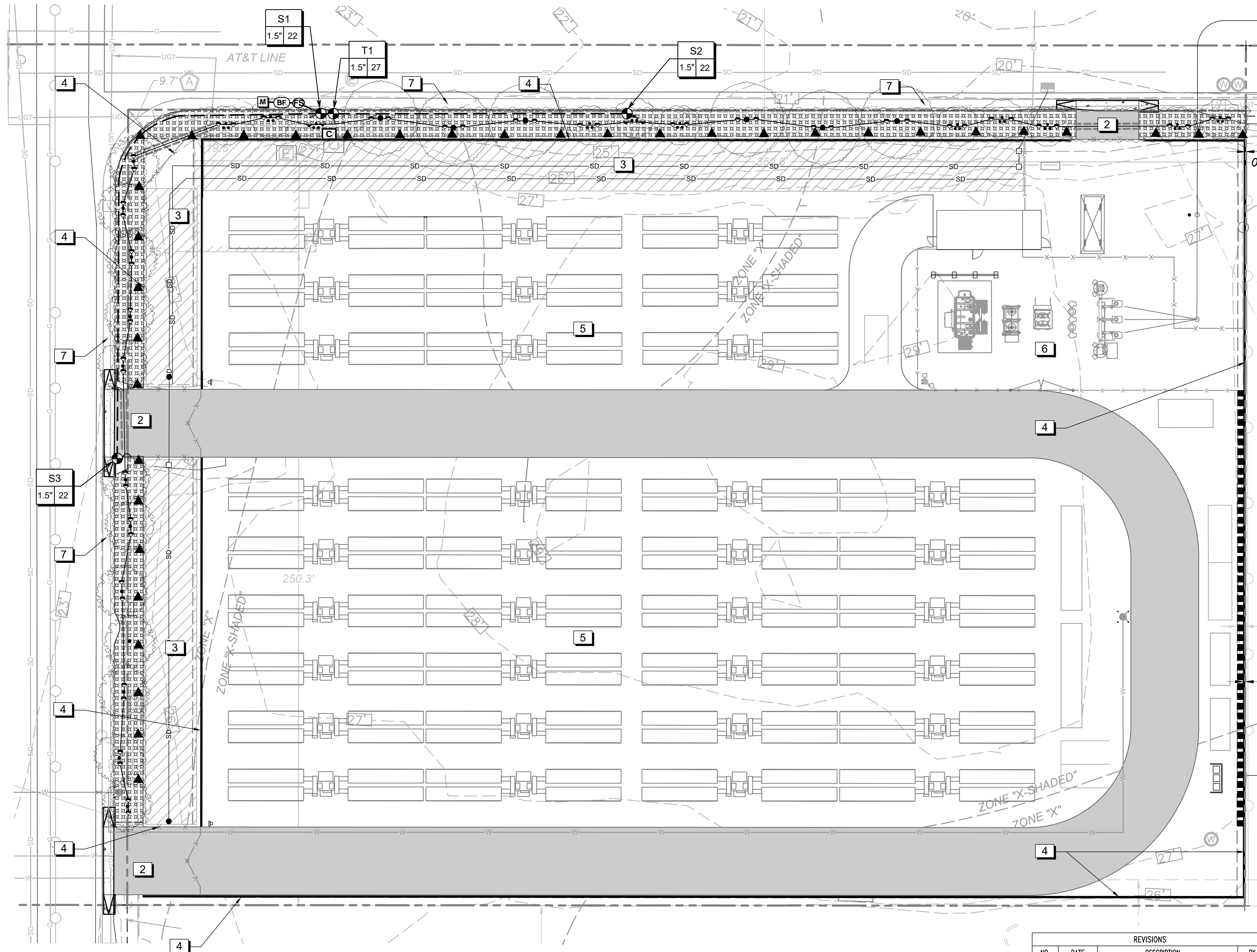
IRRIGATION KEY	
SYMBOL	DESCRIPTION
	EXISTING WATER METER
	REDUCED PRESSURE BACKFLOW DEVICE
	FLOW METER
	IRRIGATION CONTROLLER
	REMOTE CONTROL VALVE
	LATERAL LINE
	MAINLINE
	ROOT WATERING SYSTEM
	SHRUB DRIP ZONE
	VALVE CALLOUT
	NUMBER SIZE GPM

MAP KEY

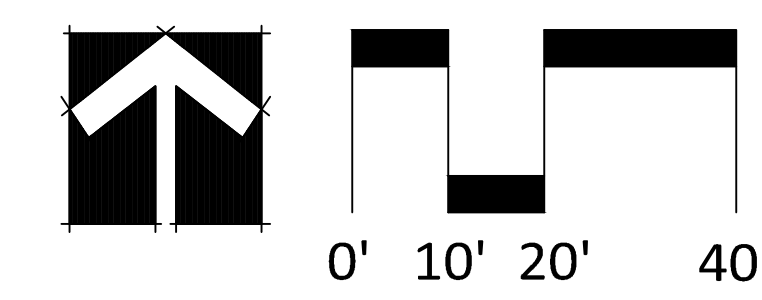
SYMBOL	DESCRIPTION
	LANDSCAPE BUFFER
	ENTRY DRIVEWAY
	LID SWALE (SEE CIVIL PLANS CUT/FILL QUANTITIES)
	6-FT WROUGHT IRON FENCE
	BATTERY UNITS AND INVERTERS, TYP.
	SUBSTATION
	SIDEWALK
	CONCRETE OR CMU WALL

WATER USE CALCULATIONS

REFERENCE EVAPOTRANSPIRATION (ET _o):	58	PROJECT TYPE: NON-RESIDENTIAL		ALLOWED MAX ETAF: 0.45	ETWU = (ET _o) (0.62) (ETAF * LA)	
HYDROZONE* AND PLANTING DESCRIPTION	PLANT FACTOR (PF)	IRRIGATION METHOD	IRRIGATION EFFIC. (IE)	ETAF (PF/IE)	LANDSCAPE AREA (SQ. FT.)	ESTIMATED TOTAL WATER USE (ETWU)
REGULAR LANDSCAPE AREAS						
S1, S2, S3 - LOW WATER USE SHRUBS AND GROUNDCOVER	0.2	BUBBLER	0.9	0.22	998	222
T1 - LOW WATER USE TREES	0.2	BUBBLER	0.9	0.22	6249	1,389
NONE - MEDIUM WATER USE SHRUBS AND GROUNDCOVER						
NONE - MEDIUM WATER USE TREES	0.5	BUBBLER	0.9	0.56	0	0
TOTALS					7,247	1,610
SPECIAL LANDSCAPE AREAS						
				0.00	0	0
THE ETWU IS LESS THAN THE MAWA, PROJECT IS COMPLIANT WITH REQUIREMENTS					ETWU (GAL)	57,912
					ETWU (CF)	7,742
MAWA = (ET _o) (0.62) [(0.55 x LA) + (0.45 x SLA)]					MAWA (GAL)	117,271
					MAWA (CF)	15,677



SCALE: 1" = 20' @ 24" X 36"



REVISIONS			
NO.	DATE	DESCRIPTION	BY
1	11/15/23	UPDATED SITE PLAN	MRT
2	2/22/24	UPDATED SITE PLAN	ETA
3	8/21/24	UPDATED SITE PLAN	MRT

GRIFFITH ENERGY STORAGE PROJECT

PRELIMINARY IRRIGATION PLAN

PROJECT NO. 12782.05	SCALE: AS NOTED	DATE: 11/15/2023	REVISION NO. 01
DESIGNED BY: EA/MT	CHECKED BY: JZ	DRAWING NO. LS-2	
DRAWN BY: EA	REVIEWED BY: JZ		

DUDEK

605 Third Street
Encinitas, CA 92024
Ph. 760-942-5147